

DOWNTOWN DESIGN GUIDELINES

Purpose and Applicability

Design Guidelines are established to ensure that public and private development projects implement the Goals, Objectives, Policies and Character District Visions of the *Downtown Plan*. The Guidelines provide a framework for:

- Enhancing the quality of the Downtown built environment;
- Achieving quality contextual design;
- Achieving design that implements the vision of the character district in which the property is located, thereby promoting an identity for Downtown Clearwater;
- Encouraging a diversity of architectural styles;
- Providing design flexibility instead of aesthetic control;
- Guiding the appropriate rehabilitation and preservation of designated historic structures;
- Creating a pedestrian-oriented environment built upon the City's history and activities;
- Protecting and improving property values; and
- Providing investor and property owner confidence through design continuity.

The Design Guidelines achieve the above through standards for new construction that regulate site design, building placement and building design. They also provide standards for the rehabilitation and maintenance of designated historic structures, as well as for the construction of additions and the installation of modern equipment to such structures. Lastly, the Guidelines establish standards for signs, lighting, property maintenance, and connections with the Pinellas Trail, utility/infrastructure facilities and corporate design.

The Guidelines include an explanation of the general and specific design principles promoted by each aspect of the guidelines, as well as a series of statements describing appropriate and inappropriate design solutions to implement those principles. Photographs and drawings are also included to illustrate acceptable and unacceptable design solutions. This approach values creativity and allows for numerous design solutions for any particular project.

The Community Development Coordinator and/or Community Development Board are responsible for the administration of the Design Guidelines. Projects in the Downtown must comply with the Design Guidelines, as well as the provisions of the Community

Development Code and compliance will be determined during the site plan review process. The Design Guidelines apply to:

- New construction projects;
- The relocation of existing buildings;
- Renovations/rehabilitation/additions to existing structures (historic and non-historic structures);
- Exterior changes including new signage, awnings, windows, paint, etc.; and
- Any site modification.

Existing developments that do not comply with the requirements of the Guidelines shall not be required to be brought into full compliance with the Guidelines at the time the Guidelines are adopted. Any improvement proposed to an existing development, however, will be required to comply with the applicable provisions of the Guidelines related to the improvements.

New Construction

Site Design

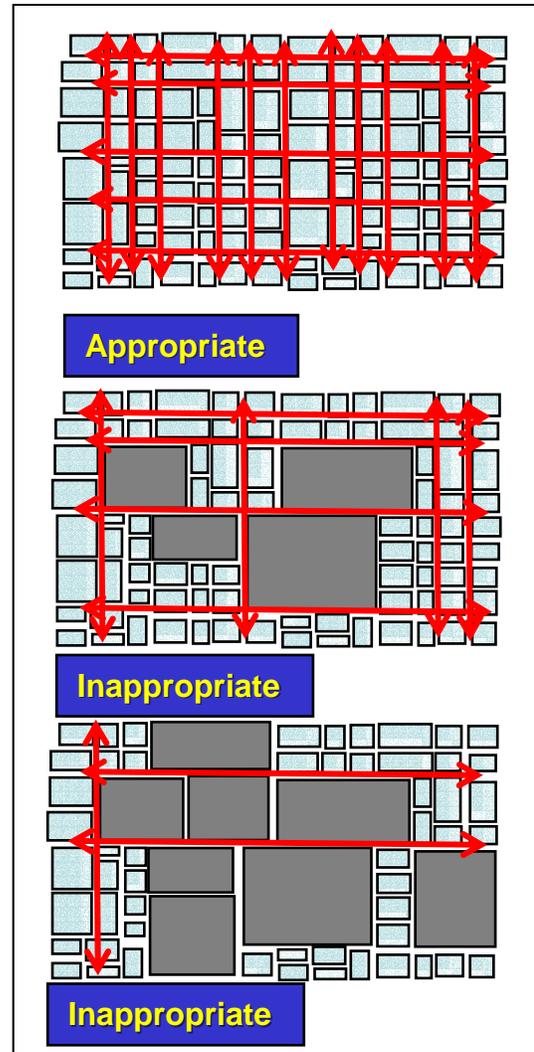
Block and Lot Characteristics

A major contributing element to the revitalization of the Downtown is significant pedestrian activity. Extensive national research of pedestrian behavior documents that walkable blocks of approximately 600 feet in length promote a vibrant and diverse downtown. Downtown Clearwater has an existing grid street pattern with minor exceptions and this pattern should be respected as redevelopment occurs.

Appropriate block and lot size depends on the character district in which the property is located and should help create a sense of human scale. Larger lots with buildings located away from the roadway can create a campus-type or more suburban appearance that may be more appropriate for the Town Lake Business Park District. Smaller lots, such as those typically found in the Downtown Core, create a walkable urban environment with a greater sense of space and place and provide opportunities for social interaction. Greater numbers of users supporting greater numbers and types of businesses results in a vibrant and diverse downtown.

Appropriate:

- Retention of the existing street grid pattern where it contributes to an active pedestrian environment.
- Blocks which promote easy pedestrian access and encourage cross-use.
- Redevelopments that reopen previously vacated rights-of-way or create new rights-of-way.
- Provision of new vehicular and pedestrian access/circulation that effectively serves



As blocks are consolidated roads are eliminated decreasing overall interconnectivity.



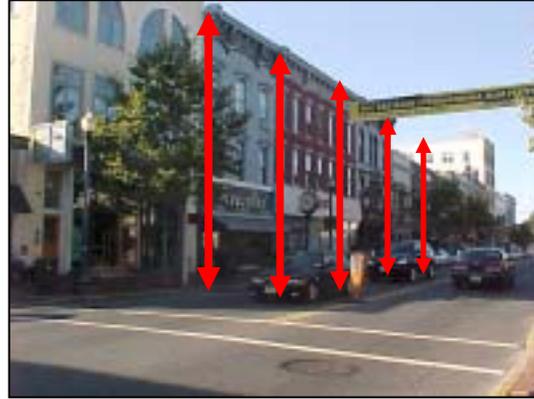
Appropriate block lengths are pedestrian in scale and easy to walk.

the proposed development and vicinity if a vacation of a right-of-way is requested.

- Lots which maintain a consistent size, scale, pattern and rhythm of the surrounding block(s).

Inappropriate:

- Vacating existing rights-of-way to form consolidated blocks without providing alternative pedestrian and vehicular access to serve the proposed development and vicinity.
- Large blocks which prohibit pedestrian access through the block and/or prohibit access within and around the development.



Appropriate: block width is approximately 300 feet and easily walkable. Lot width is consistent.



Appropriate: lot widths are consistent contributing to a regular rhythm along the block.



Inappropriate: block length is extremely long and the building appears too monolithic and is not adequately broken up with vertical elements.

Access, Circulation and Parking

Vehicles and people need to co-exist, however, it should be recognized that the Downtown is first and foremost for pedestrians. Circulation throughout the Downtown should be designed to provide safe and direct connections that minimize vehicular-pedestrian conflicts. Parking lots and garages should be as unobtrusive as possible while maintaining easy accessibility. Pedestrian circulation patterns transitioning from parking areas should be designed to be safe, convenient and attractive.



Appropriate: pedestrian alley provides adequate width for landscaping, lights and benches.

Vehicular Circulation/Access and Parking

Appropriate:

- The location, number and design of driveways which maintain the urban fabric of the Downtown.
- Vehicular access from secondary street frontage or alley.
- Interior lot access limited to the minimum number of curb cuts to adequately serve the site.
- Parking areas for townhouse developments located within the interior of the development that maintains the integrity of the primary façade as the preferred design. For townhouse projects located on low traffic-volume streets with site characteristics that prevent internal parking, parking may be directly accessed from the street provided it is co-located with shared driveways.
- Detached garages and carports serving single-family uses located in line with or behind the rear of the principal building.
- Residential uses along Clearwater Harbor designed with parking garages or with parking areas internal to the site/building and screened from Clearwater Harbor and any abutting right-of-way.
- Attached garages in residential developments, architecturally integrated with the design of the principal structure.

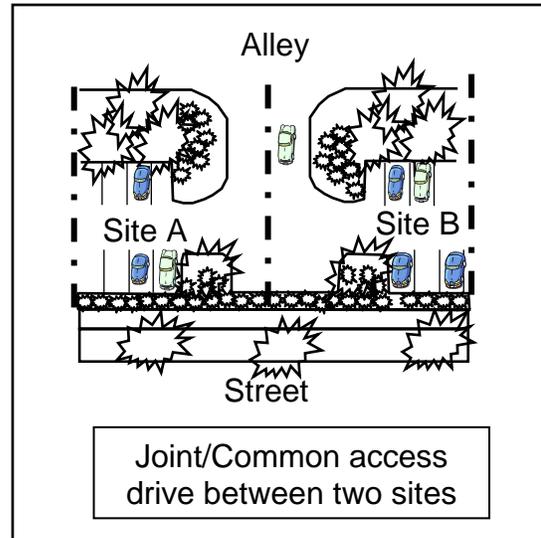


Appropriate: two townhomes share a single driveway. In addition, the garage is incorporated into the design of the building.



Appropriate: residential townhomes home front a which serves the site fronted by residential.

- Driveways functionally integrated into the design of the development.
- Joint/common access driveways between sites.
- Shared parking where a mix of uses creates staggered peak periods of parking demand.
- Parking lots located behind the primary façade of the principal building.
- Parking lot design that minimizes negative impacts such as light glare, exhaust fumes, noise and undesirable views.
- Parking lots adjacent to rights-of-way that are screened with either a landscaped buffer or a solid wall or fence three feet in height.
- Large parking lots visually and functionally segmented into smaller lots with landscaped islands and canopy.
- The use of interlocking pavers, brick or other similarly textured materials for parking lot surfacing and/or accents.
- Parking garages as the principal uses that are architecturally integrated with surrounding developments and/or the envisioned character of the area.
- Parking garages as the principal use within the Downtown Core located on Cleveland Street, Fort Harrison and Osceola Avenues with at least 75 percent of the ground floor of each façade on all adjacent street frontages occupied by active uses. Active uses include restaurant, retail, entertainment or other uses/features determined to be pedestrian-oriented.
- Parking garages accessory to a principal use that are architecturally integrated with the design, materials, finish and color of the principal structure(s) on the lot.
- Ground floors of parking garages accessory to a principal use with at least 75 percent of the primary facade occupied



Appropriate: parking garage façade utilizes similar materials as surrounding buildings.



Appropriate: parking garage with shops and restaurant along street.

by the principal use(s)/features or other use determined to be complementary to the principal use.

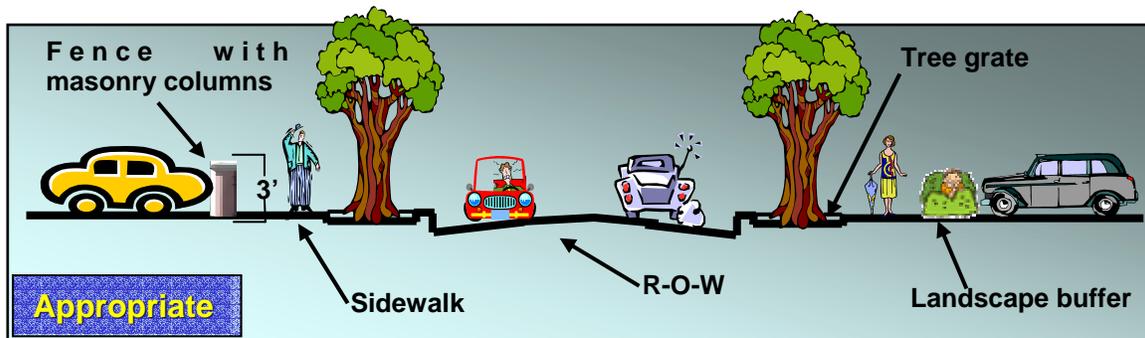
- Upper floors of all parking garages designed to visually screen vehicles from view from rights-of-way and public open spaces. Screening includes landscaping, walls, architectural elements or other decorative features.
- Parking garages with clearly marked points of ingress and egress.



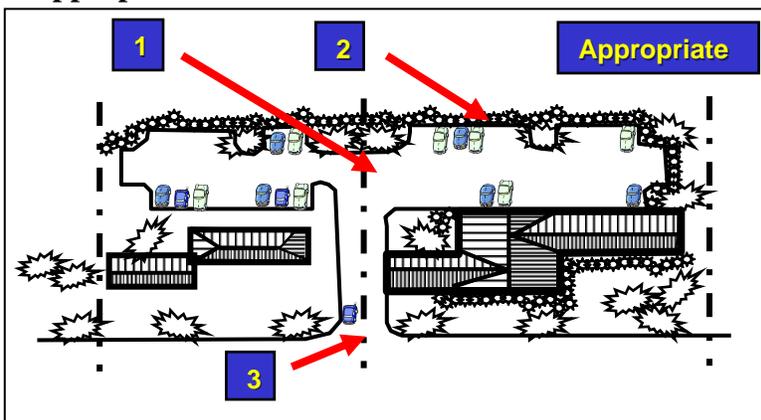
Appropriate: parking garage screening effectively blocks the view of parked cars within the structure.



Appropriate: residential development served by a residential alley which runs along the rear of each house.



Inappropriate:



1— Shared parking lot is located completely to the rear of the site behind the buildings.

2—The parking lot is adequately buffered with landscaping.

3— A single, shared driveway serves two sites.

- Curb cuts at every site.
- Parking lots or garages as the most prominent feature of any development.
- Parking garages difficult to enter and/or with poorly defined entrances.
- The appearance of a “sea of asphalt” from the rights-of-way.
- Parking lots/garages which create an unsafe environment.



Inappropriate: parking lot is unscreened and cars are parked directly along the right-of-way.



Inappropriate: parking garage is visually obtrusive.

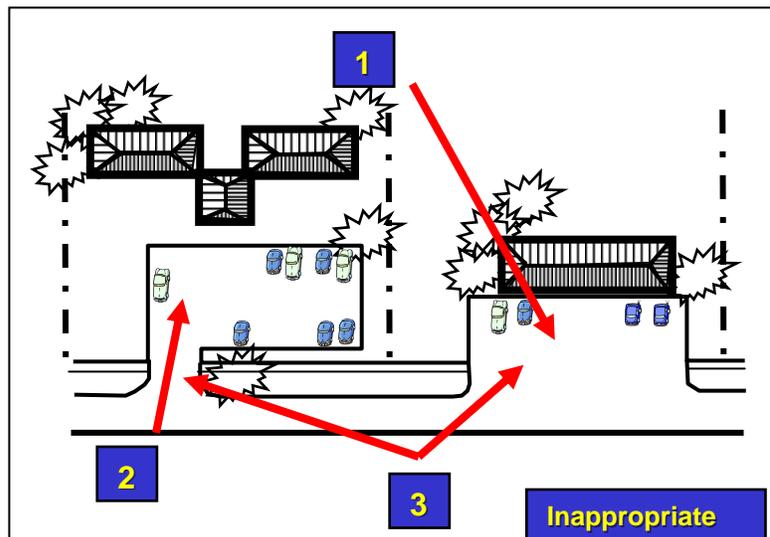


Inappropriate: parking lot does not have adequate landscaping and appears to be a “sea of asphalt”.

1— Parking backs out into the right-of-way

2— Parking is located in the front of the building.

3— Parking is not shared and there are two curb cuts, one of which extends along most of the property line.



Pedestrian Circulation/Access

Appropriate:

- Clearly defined, safe, direct, convenient and landscaped pedestrian pathways provided between streets, parking areas and buildings.
- Pedestrian scaled lighting such as lighted bollards.
- Vertical elements such as bollards, markers, arches or architectural details.
- Alleys and courtyards that match or complement either the building or the primary street to which the alley connects with regard to materials, architecture, color and street furniture (waste receptacles, benches, lighting, etc.).
- Specialized paving design especially where pedestrian and vehicular paths intersect.
- Pedestrian passageways which go through buildings such as an arcade.

Inappropriate:

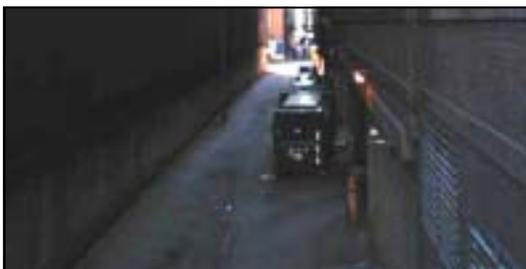
- Developments which do not include direct access from surrounding streets and parking areas.
- Large developments which do not provide pedestrian walkways through the block on which the development is located.
- Pedestrian passageways too narrow to be useable or not designed at a human scale.
- Pedestrian passageways that create an unsafe environment.



Appropriate – pedestrian alley is handicap accessible, lighted, landscaped and includes rich paving textures.



Appropriate - alley is wide enough for easy pedestrian access and includes access to shops.



Inappropriate—this alley is too narrow and lacks lighting and feels unsafe.



Inappropriate – pedestrian alley is not handicap accessible, among other things.

Site Elements

Open Space

Open spaces provide public “living rooms” in the urban setting. The design and location of these spaces are important determinants in creating successful pedestrian environments. In general, the type and character of the urban open space should be influenced by the desired function of the space, surrounding uses and the potential users of the space. In addition, amenities provided within open spaces can enhance the connectivity of the various design elements making up these spaces. Amenities include benches, chairs, tables, planters and landscaping. Public art enlivens open spaces and buildings adding to the cultural vibrancy of a city.

Appropriate:

- Open spaces which function as transitions between the public sidewalks and streets and the use of the property (residences, offices, stores, etc.).
- Clearly defined entrances into open spaces with direct access from adjacent streets and adequate buffering from vehicular traffic.
- Open spaces that are visible and inviting to the pedestrian.
- Open spaces which utilize an aesthetically coordinated marriage between hardscape (buildings, planters, lighting, walls, fences, paving, etc.) and landscape (trees, shrubs, annuals, perennials, etc.) elements. Large open spaces broken into smaller, human-scale spaces through the use of changes of grade, planters, pots, landscaping, sculpture, fences, walls, etc.
- Open spaces designed to relate and connect to adjacent properties.
- Formal or informal seating appropriate to the scale and function of the open space. Seating may include park benches, the



Appropriate: alley is wide enough to provide seating for a restaurant and acts as an open space.



Appropriate: this court is directly accessible from the sidewalk and is clearly delineated by a short wall.



Appropriate: outdoor café is located directly on the sidewalk.

tops of garden/planter walls, monumental stairs, etc.

- The location of public art in accessible open spaces designed and located so as to enrich the pedestrian experience and create a stronger sense of place.

Inappropriate:

- Open spaces not easily accessible from public streets or that become unsafe “dead” spots.
- Lack of seating, shade and clearly defined perimeters.
- Open space that does not relate with the uses and buildings surrounding it.

Buffering and Screening

Buffering and screening help define spaces, block unsightly yet necessary elements and preserve and enhance an area’s quality and character. Within an urban setting buffering will be achieved through the use of landscaping, decorative fences, walls, pots, planters, etc.

Mechanical Equipment, Concealed Wireless Communication Facilities, Loading and Service Areas.

Mechanical equipment, wireless communication facilities, loading and service areas shall be integrated into the design of the site, located in the most unobtrusive location possible and buffered and screened appropriately.

Appropriate:

- When located at grade, mechanical and utility equipment that is placed in the least obtrusive location possible and screened from adjacent properties and rights-of-way with fences, walls and/or landscaping.
- When located on the roof of a building, mechanical equipment that is integrated into the design of the building through the



Appropriate: a public plaza which incorporates interactive public art.



Inappropriate: this open space is not easily accessible and is cold and foreboding consisting of a sunken area with only a concrete bench and trash can.



Appropriate: utilities are centrally located on the roof.

use of parapet walls, towers or other architectural elements.

- Concealed wireless communication facilities (antennas, satellite dishes, etc.) attached to buildings and not visible from any public right-of-way. Appropriate concealing methods include painting the facility to match the color of the building, concealing the facility by architecturally-integrated features, such as the use of faux windows, dormers, chimneys, parapets, etc. or other similar methods.
- Service and loading areas accessed from secondary streets, screened from adjacent properties and rights-of-way and placed in visually unobtrusive locations.
- Solid waste containers placed in the most unobtrusive location possible and screened from adjacent properties and rights-of-way.



Fig. 1



Fig. 2

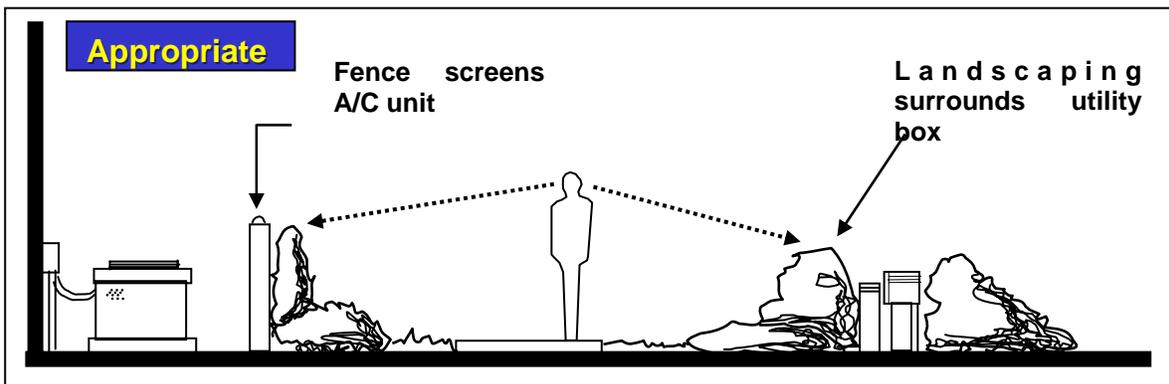
Appropriate: Fig. 1 above shows utilities located on a roof and screened by parapet walls. Fig. 2 shows the effectiveness of that screening from roughly the same position only from the ground.



Inappropriate: utilities are clearly visible from the ground located along the edge of the building.



Appropriate: a concealed wireless communication facility.



Inappropriate:

- Solid waste containers and service and loading areas located adjacent to residentially used lots when an alternative location is feasible.
- Mechanical and utility equipment that visually dominates a site.
- Freestanding wireless communication facilities.

Landscaping

Landscaping should be used as a design element fully integrated with a site and building while also recognizing and defining the urban setting. A well-designed landscape contributes to the site's aesthetics and improves the livability in a dense urban environment. Landscaping can also preserve and enhance the acoustic and visual privacy of a site while supporting and accentuating the architecture of a building. The use of indigenous species and other water-saving techniques are encouraged.

Appropriate:

- Landscaping compatible with the climatic conditions of West Central Florida that includes the use of native plant species and Xeriscape landscape techniques.
- Plant species that are appropriate to the space in which they will occupy with regard to water needs, growth rates, size, etc. in order to conserve water, reduce maintenance and promote plant health.
- Landscape design which augments and supports architectural features of the building/site where located.
- Landscape design that visually screens unsightly views, aesthetically supports important vistas and reinforces the character district in which it is located.
- Plantings in landscape beds, planters or pots that soften the edges between buildings and pedestrian areas.



Appropriate: pedestrian alley utilizes plant material suitable for the site and area in which the material will be located.



Appropriate: a planting bed provides a buffer between the street and main sidewalk and the abutting storefronts.



Appropriate: pedestrian alley includes landscaping which softens the buildings yet provides adequate sight lines for safety.

- Trees planted in paved areas provided with adequate room to grow (landscape beds, tree grates or other protective techniques).
- Landscape design and maintenance that engenders a sense of personal safety.

Inappropriate:

- Landscaping used in lieu of appropriate architectural details and good building design.
- Landscaping planted without an adequate irrigation system.
- The use of non-hardy plant species.
- Use of the wrong plant in the wrong space such as plantings with inadequate room to grow and/or plantings inappropriate for an active pedestrian area, etc.
- Landscaping allowed to become overgrown decreasing aesthetics and safety.



Inappropriate: landscaped area uses plant material too small for the space, inappropriate for the exposure and not irrigated.

Fences and Walls

Fences and walls shall be utilized around service/loading areas, dumpsters and mechanical/utility equipment to buffer these uses from surrounding properties and rights-of-way and to provide security for this equipment. Fences and walls may be incorporated as a design element to assist in defining property boundaries and entrances, open spaces and to provide a transition between public and private realms.

Appropriate:

- Fences and walls that complement and are consistent with the principal structure with regard to materials, texture, size, shape and color.
- The location, height and design of fences and walls compatible with the intended use, design of the site and architecture of the building.



Appropriate: fence with masonry columns matches the color and materials of the principle structure.

- Solid fences and walls along rights-of-way no higher than three feet. Any portion of a fence or wall above three feet in height that is at least 50 percent open.
- Posts or columns that include decorative caps which extend up to 12 inches above the otherwise allowable fence height.
- Vertical elements such as posts, columns, etc. incorporated into the design of the fence or wall spaced at appropriate intervals in relation to the materials used and overall length.
- Property lines and private areas defined through the use of fences where feasible.

Inappropriate:

- The portion of walls and/or fences along a right-of-way greater than three feet in height above grade that are more than fifty percent solid.
- Chain link or barbed wire fences.
- Unpainted or unfinished walls and fences.



Appropriate: decorative fencing provides the delineation for an outdoor café.



Appropriate: six-foot fence with solid bottom and open top.



Appropriate: picket fence complements the architectural style of the house.



Inappropriate: solid six-foot wall located directly along a public right-of-way.



Inappropriate: chain link fence and barbed wire.

Building Placement

Location

The appropriate location of a building should help define and provide a coherent streetscape and appearance of an area resulting in a defined sense of space and place. The appropriate location of a building on a site varies depending on the character district in which the development is located. A setback or a build-to line will determine the appropriate location of a building. A setback requires a minimum distance from a property line which may be exceeded whereas a build-to line prescribes a particular distance from a front property line.

Orientation

Buildings should be oriented towards the street. The orientation of the front façade of buildings along the streetscape contributes to pedestrian interest in an area. Buildings that turn perpendicular to the public right-of-way or have their sole access from rear parking lots create an environment that is unfriendly for pedestrians.

Separation

The existing and/or desired character of the area should define the distance between buildings. Separation between buildings should be determined based on its surroundings, the character district's vision and development pattern, intensity of development, pedestrian activity and height of the building. When separation between buildings is unavoidable or desirable, the separation should be designed to function in a manner that complements the surrounding area.



Appropriate: uniform build-to-line along a block face.



Appropriate: primary entrance oriented towards public right-of-way.



Appropriate: adequate space was provided between these two building to locate a pedestrian alley with room for seating.

Coverage

High percentage of ground coverage is encouraged in a downtown to create a critical mass of activity. The amount of ground coverage varies among character districts with the most intense coverage found in the Downtown Core and the commercial areas of the other districts. In addition to a building, coverage can also include plazas, courtyards, outdoor cafés and other public spaces.

Appropriate:

- Buildings that maintain the build-to line or the setback of the development's block and the block(s) across the street. Corner lots that maintain the location pattern for a distance of two blocks including both sides of the street.
- Buildings located farther from the build-to line in order to provide a courtyard, steps, entryway, arcade, plaza or other pedestrian-oriented design features which maintains the build-to line.
- Buildings that do not maintain the build-to line or with reduced setbacks that reflect the predominant surrounding or desired development pattern.
- Buildings oriented to face public rights-of-way.
- Separation between buildings that provide adequate useable space such as an alley or open space compliant with the requirements of these Guidelines.
- Developments which provide coverage similar to surrounding properties and/or that meet the desired vision of the character district.



Appropriate: within the Downtown Core high coverage with buildings, alleys, courtyards, etc. occupying most of a site.



Appropriate: larger setback for a single family residential dwelling within East Gateway.



Appropriate: consistent building coverage and width.

Inappropriate:

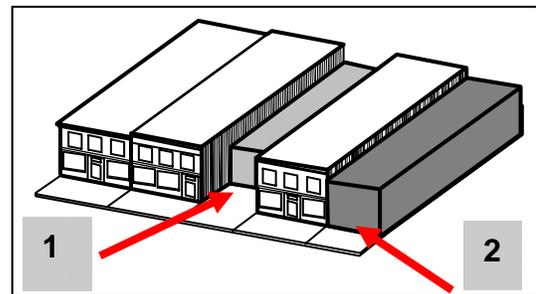
- Buildings that break up the common build-to line by locating farther back or forward than the predominant block patterns on the subject's site and the opposite side of the street except in order to provide a courtyard, steps, entryway, arcade, plaza or other pedestrian-oriented design features which maintains the build-to line.
- Corner lots that do not maintain the location pattern for a distance of two blocks including both sides of the street.
- Buildings separated at a distance which precludes the provision of Guideline-compliant alleys and open space.
- Separations between buildings that are out of scale and proportion with the district's existing or desired development pattern.



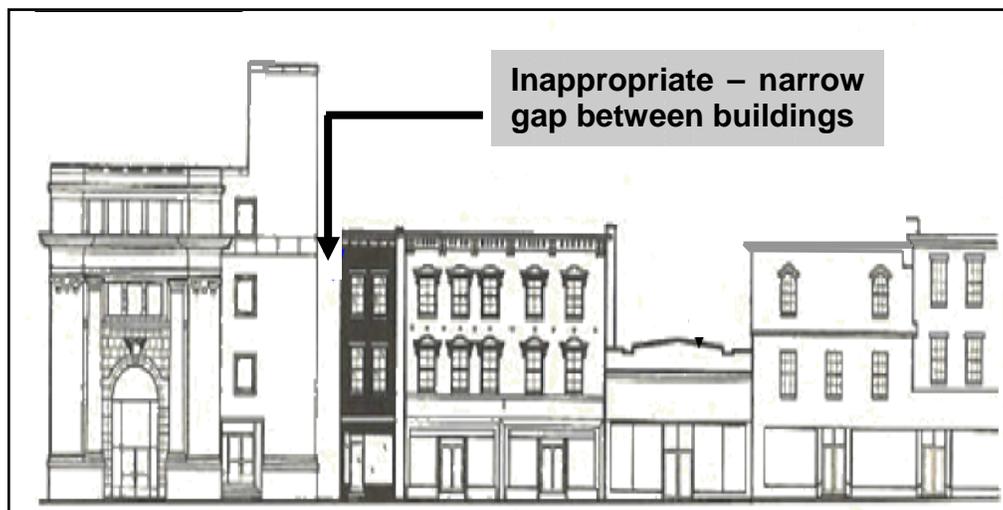
Appropriate: building located on a corner lot is orientated towards both streets.



Appropriate: building breaks with the build-to line for the provision of a public plaza.



- 1 – Inappropriate build-to line
- 2— Appropriate build-to line



- Buildings which do not address the primary street.

Additional Requirements for character districts and Special Areas

Transition Areas

The transition area guidelines apply to the properties adjacent to the Downtown Plan boundary in the following two areas:

- In the Old Bay District, all properties located north of Seminole Street and west of Osceola Avenue (Fig. 1).
- In the Town Lake Residential District, all properties located on the south side of Chestnut Street (Fig. 2).

Transition area guidelines apply due to the significant differences in the development potential and pattern between the transition area and the adjacent areas outside the Downtown Plan boundaries. Projects shall be designed so that the least intensive portion of the development (density, use and buildings) is located closest to the Plan Area boundary. The appropriate separation and orientation of a development shall be determined based on the maximum development potential/pattern of the adjacent area.

Old Bay

Appropriate:

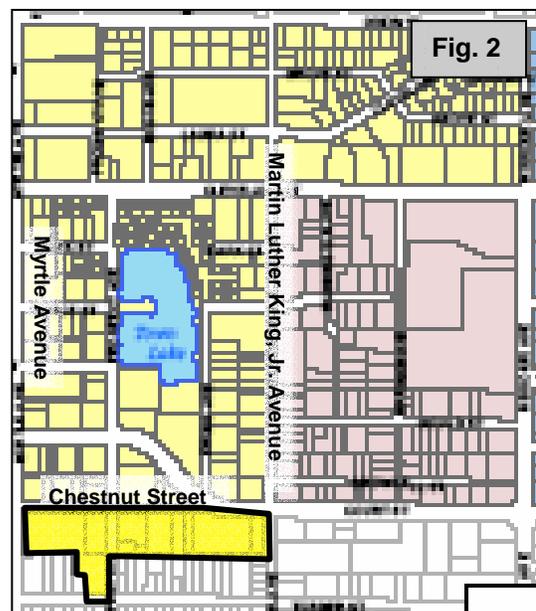
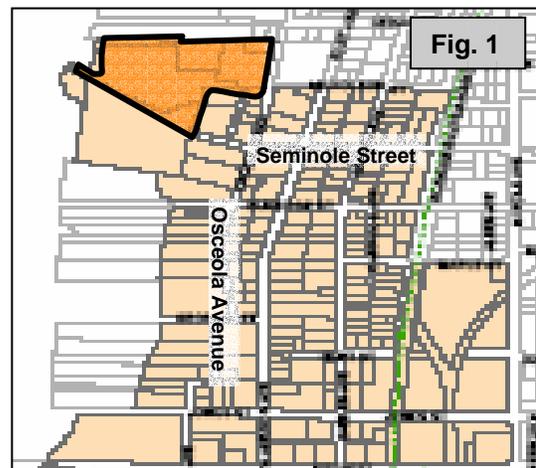
- For development located eastward of a line drawn due south from the intersection of the mean highwater line and the northern Plan Area Boundary:
 - Buildings or portions of buildings 15 feet or less in height that are setback a minimum of 20 feet from the northern Plan Area boundary.

Fig. 1 - Transition Area within the Old Bay character district.

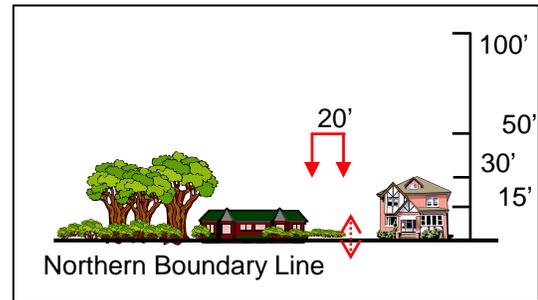
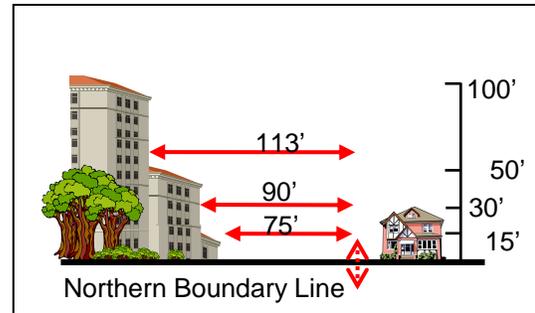
Fig. 2 - Transition Area within the Town Lake Residential character district.



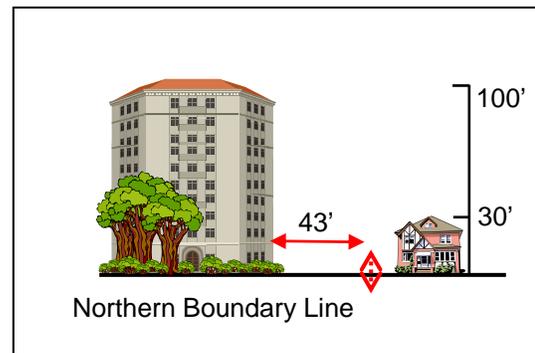
Inappropriate: a poor transition between shorter buildings and much taller surrounding ones.



- Buildings or portions of buildings exceeding 15 feet in height that provide a minimum setback (from the northern Plan Area Boundary) of 75 feet plus one additional foot of horizontal distance as measured from that boundary for each 2.25 feet of height above 15 feet except along public rights-of-way where buildings may be located a minimum of 10 feet from the boundary line.
- For development located westward of a line drawn due south from the intersection of the mean highwater line and the northern Plan Area Boundary:
 - Buildings or portions of buildings 30 feet or less in height that are setback a minimum of 20 feet from the northern Plan Area boundary.
 - Buildings or portions of buildings exceeding 30 feet in height that provide a minimum setback (from the northern Plan Area Boundary) of 20 feet plus one additional foot for each three feet of height above 30 feet.
- Buildings or portions of buildings exceeding 50 feet in height that maintain a horizontal separation between such buildings equal to or greater than 1.5 times the height of the larger of the two buildings.



Appropriate: Old Bay character district – east of mean highwater line

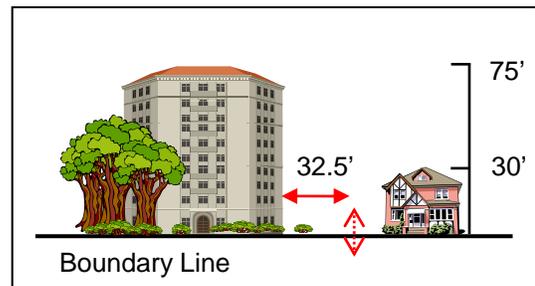


Appropriate: Old Bay character district – west of mean highwater line

Town Lake Residential

Appropriate:

- Buildings or portions of buildings 30 feet or less in height that are setback a minimum of 10 feet from the southern Plan Area boundary.
- Buildings or portions of buildings taller than 30 feet in height that provide a setback of a minimum of 10 feet plus an additional one foot for each two feet of height above 30 feet from the southern Plan Area boundary.



Appropriate : Transition in the Town Lake Residential character district.

Building Design

The purpose of building design requirements is to establish design standards so that new construction is compatible with its surroundings. The first step in design is to identify a building's orientation and placement to contribute to a unified streetscape creating a sense of place. The second critical part in design is a building whose form and architecture contributes to its character district.

Successful building design is a marriage between form and architecture to visually connect with the existing and/or desired character of the surrounding area. A compatible structure is one that possesses patterns of form and architecture that are found in surrounding buildings creating "points of agreement" between them while retaining the individuality of the building.

Quality urban design balances a respect for an area's existing or desired pattern with the design of new structures.

Form

The form of a building is made up of a combination of elements including mass, scale, height, width, depth, rhythm and spacing.

Mass/Scale

Mass refers to an interplay of the height, width and depth of a building. Mass can be augmented and influenced by design features such as columns, awnings, arcades, recessed bays, doors and windows which can reduce or increase the apparent mass of a building.

Scale refers to the relative size of a building as it relates to neighboring buildings. The size and proportions of new development



Appropriate: building is oriented towards both street.



Appropriate: the location of a new shopping center contributes to an active streetscape and relates to the existing pattern of development.



Appropriate: the scale of this building is mitigated by vertical and horizontal architectural elements.

should be related to the scale of nearby buildings. Even if much larger than its neighbors in terms of square footage, the building should maintain the same scale and rhythm as the existing buildings.

Height

New development and redevelopment should respect the vertical height of existing or approved adjacent buildings and contribute to a pedestrian scale. The apparent height of a building/development can be influenced and augmented by a combination of stepbacks, varying building heights and horizontal features such as colonnades, canopies, awnings, cornice lines, string courses, wide windows, etc.

Width

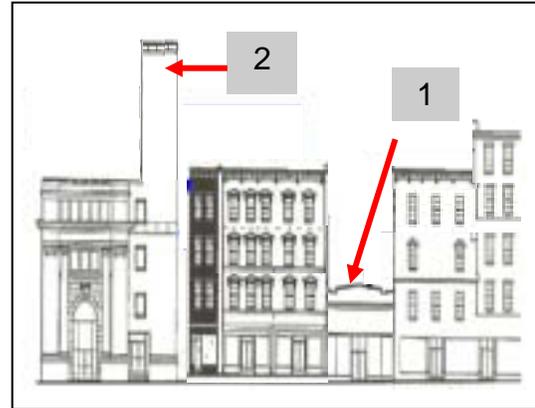
The width of a building is the horizontal distance between the two outer edges along the primary façade measured at the setback or build-to line. The apparent width of a building can be reduced or otherwise influenced through the introduction of columns, windows, doors, etc.

Depth

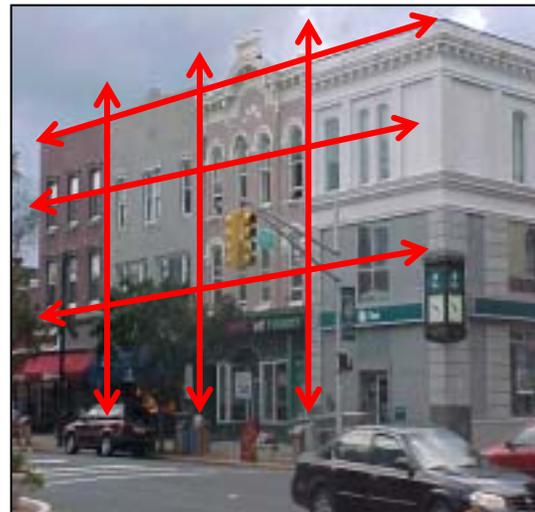
The depth of a building is the distance measured between the front and rear facades. Maintaining a consistent building depth along a block can provide opportunities for shared parking lots, plazas, courtyards and other seating areas. A consistent building depth can also facilitate the provision of consistent and logical secondary entrances.

Rhythm/Spacing

Rhythm and spacing is a pattern created by the architecture through the use of width, height, windows, doors and other architectural elements. The rhythm and spacing of the architectural elements of new



Inappropriate: building one is too short and building is too tall. Neither building respects the height of adjacent buildings.

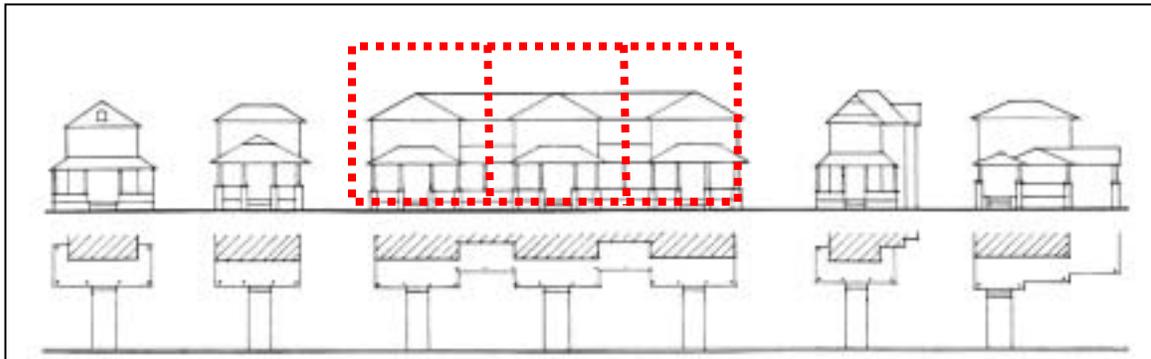


Appropriate: a common building width is employed. Also note a common alignment and basic shape of windows forming "points of agreement" between the buildings.



Appropriate: common building depth provides for a shared parking lot.

buildings should strongly relate to, complement and support the existing and/or desired rhythm and spacing in an area.



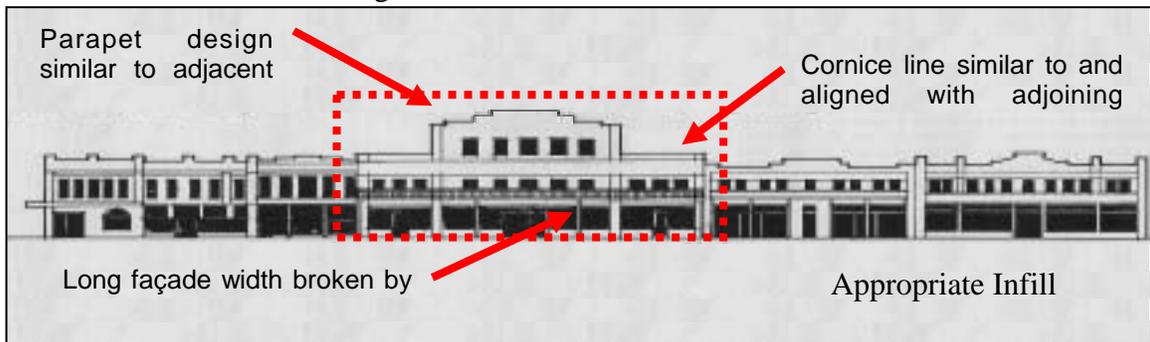
Appropriate

- Building form which visually relates to surrounding buildings and the desired character of the area with regard to mass, scale, height, width and depth.
- Buildings that have a distinct “base,” “middle” and “cap.”
- Low-rise buildings and/or those with long facade widths that accentuate vertical elements such as entrances and columns, or by breaking up the facade plane into a greater number of smaller vertical masses.
- Mid- and high-rise buildings that utilize horizontal elements that minimize the apparent height of a building such as balconies, banding, cornice and parapet lines, etc.
- High-rise buildings that use the following techniques depending on overall building height and the existing or desired character of the surrounding area:

Appropriate: this triplex matches the rhythm and spacing of adjacent single-family residences.



Appropriate: building with a distinct base, middle and cap.



- Building stories or/stepbacks differentiated by architectural features including but not limited to coping, balustrades, cornice lines, change in materials, etc.
- A proportional relationship between the height of a building and the number and dimensions of stepbacks used to mitigate the height of the building.
- Buildings that terminate views emphasize their prominent location through the use of additional height, mass, distinctive architectural treatments and/or other distinguishing features.
- Maintaining a consistent building depth when feasible to allow the location of shared parking lots and/or secondary entrances.
- Buildings which correspond to the existing and/or desired rhythm and spacing of surrounding buildings through the use of common points of agreement such as windows, doors, recesses, reliefs and other architectural elements.
- Buildings which maintain the existing and/or desired pattern of the placement and size of windows, doors, shutters, and other architectural elements on adjacent buildings with regard to both the ground floor and upper stories.
- Finished floor heights a minimum of two feet above the sidewalk grade for residential buildings within predominantly mixed use or commercial areas.



Appropriate: the raised banding provides rich detail and differentiates the various floors.



Appropriate: The Pinellas County Courthouse terminates the view at Court Street and South Fort Harrison Avenue.



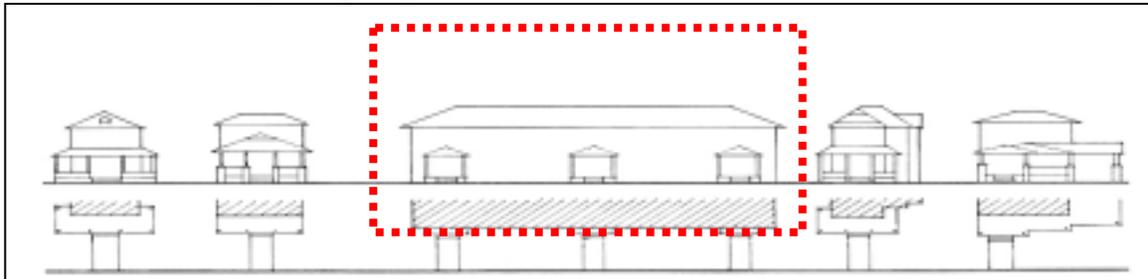
Appropriate: the Colony building maintains a colonnade along Cleveland Street.

Inappropriate:

- Buildings which do not relate to the surrounding or desired and envisioned context and fabric of the neighborhood with regard to size, scale, height, width and depth.
- Buildings that visually overpower adjacent buildings.
- Buildings that do not maintain a common building depth based on the predominant lot pattern.
- Buildings that do not maintain the existing and/or desired pattern of windows and doors along a block face.



Inappropriate: this building does not relate to adjacent buildings (far right).



- Facades on multi-story structures which do not incorporate meaningful architectural details such as cornice lines, banding, string courses, columns, recesses, relief, etc.

Inappropriate: this triplex does not match the rhythm and spacing of adjacent single-family residences.

Additional Requirements for Downtown Core along Cleveland Street

Appropriate:

- Buildings along Cleveland Street taller than the predominant height of other buildings on the project's block that step back at that predominant height.
- The use of multiple stepbacks when a building exceeds the predominant height of other buildings on the projects block.



Appropriate: a stepback is provided at 30 feet, the predominant height along the block. Additional stepbacks are provided as the building increases in height.

Inappropriate:

- Building widths that visually overpower adjacent buildings.

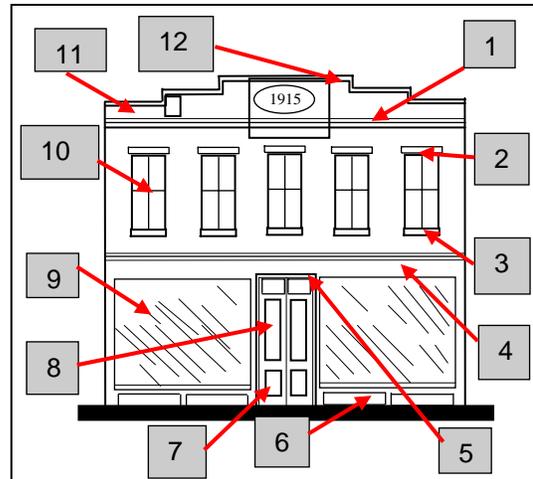
Architecture

The architectural style of new development or redevelopment should be consistent with the desired development in the surrounding character districts or as otherwise envisioned by the Downtown Plan. Architecture refers to the relationship and culmination of the various features of a building including texture, proportion, entrance design, doors, windows, details, roofs, materials and color in addition to the mass and scale.

A variety of architectural styles exist within the Downtown and the Guidelines should not prescribe any one architectural style as being the most appropriate. Buildings in all six Downtown character districts represent a broad range of styles typical of trends of the late-19th to mid-20th centuries with no singular style being predominant. Therefore, no one particular style or theme will be mandated for any district. New buildings may use a variety of architectural styles as appropriate to the intended use of the building and the context of the surrounding area. New design may use contemporary materials to adapt historic design elements into a new building.

Appropriate:

- New development that incorporates an architectural style or architectural elements consistent with the existing and/or desired style of development in the surrounding neighborhood.
- New development that complements the architectural heritage of the district in which it is located.
- Multiple buildings within a single project which relate architecturally with each other and the surrounding neighborhood.



Various architectural elements that may be found on a building:

- 1 - Cornice
- 2 - Lintel
- 3 - Sill
- 4 - String course
- 5 - Transom
- 6 - Bulkheads
- 7 - Kick plates
- 8 - Double door entrance
- 9 - Fixed plate glass display window
- 10 - Double-hung sash window
- 11 - Parapet
- 12 - Parapet coping



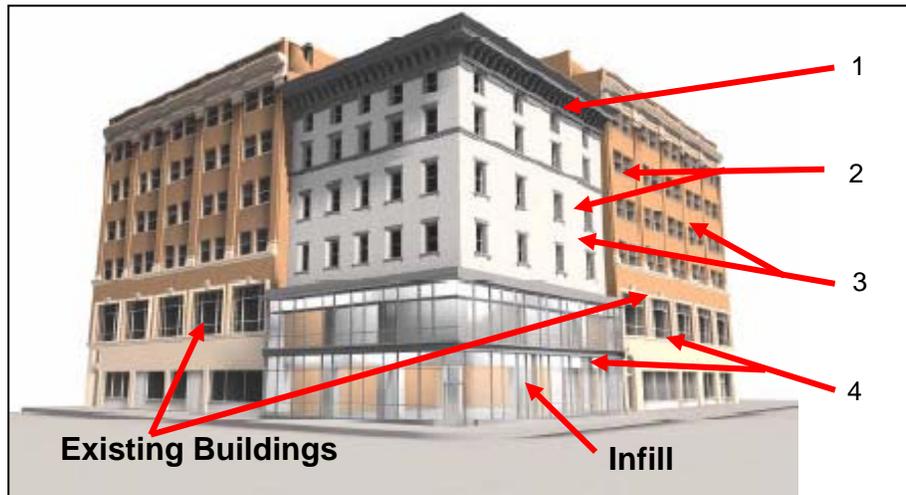
Appropriate: rich architectural details add to the aesthetics of a building.

Inappropriate:

- Use of an architectural style which does not complement the fabric of the surrounding neighborhood.
- Use of multiple and/or conflicting architectural styles within a single building or between several buildings within a single project.



Appropriate - consistent architectural styles used along this residential block.



Inappropriate: the infill development, above, is inappropriate because the (1) location and style of architectural detailing; (2) level and pattern of windows; (3) Finish and type of materials; and (4) level and pattern of windows do not match the existing building.

Façade Design

All facades of a building should reflect a unified architectural treatment; however, there is a hierarchy of façade treatment based on location, function and level of pedestrian interaction. The specific guidelines for facades are divided into primary and corner, secondary and side facades. Façades should use a combination of architectural details, materials, window and door patterns and other design features to form a cohesive and visually interesting design.



Appropriate: primary façade uses strong architectural elements to create interest and emphasize the entrance.

Primary and Corner Facades

Primary facades include those facades located along streets designated on the Master Streetscape Plan or properties within the Downtown Core adjacent to Clearwater Harbor and Coachman Park. The design of the primary facade of buildings is critical for the atmosphere to be created along the street front.

Buildings on corner lots at the intersections of streets designated on the Master Streetscape Plan are considered to have two primary facades and should receive the highest level of design treatment on those facades.

However, if a corner or through lot is located on streets with different designations on the Master Streetscape Plan, the design may recognize and reflect the differences in the designations while still meeting the intent of these Guidelines.

For properties within the Old Bay and East Gateway Districts the primary façade is considered to be the façade facing the street. For corner lots, the surrounding development pattern shall determine the primary façade.

Appropriate:

- The primary facades as the most highly designed façade utilizing the following elements:
 - A change in plane, building wall projection or recess;
 - Architectural details;
 - Variety in color, material, texture;
 - Doors and/or windows;
 - Storefront display windows for retail uses; and
 - Other details as appropriate to the building style.



Appropriate: primary façade includes a well-defined entrance with canopy.



Appropriate: building on a corner lot provides an entrance at the corner in order to serve both adjacent streets.



Appropriate: this theater uses a variety of architectural features to create interest.

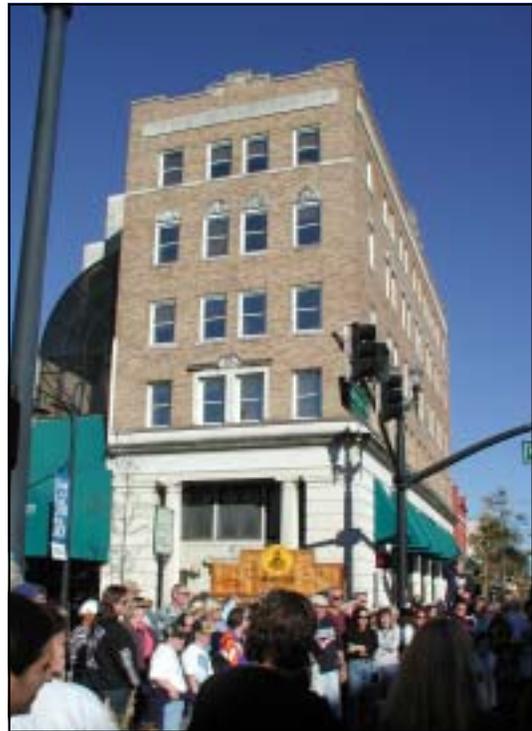
- An architecturally prominent entrance with door located on the primary façade.
- Primary entrances emphasized through the use of a combination of:
 - A protruding front gable or stoop;
 - Projection or recession in the building footprint
 - Variation in building height;
 - Canopy or portico;
 - Raised cornice or parapet over door;
 - Arches;
 - Columns;
 - Ornamental and structural architectural details other than cornices over or on the sides of the building;
 - Towers; and/or
 - Other treatment that emphasizes the primary entrance.
- Primary façades which include three articulated architectural parts: a *base*, *middle* and *cap*. The proportion of these three elements will vary depending on the scale of the building.
- Major architectural treatments on the principal facade that are continued around all sides of the building that are visible from the public realm.
- Covered drop-off areas.
- Open porches.
- Buildings on corner lots that emphasize their prominent location through the use of additional height, massing, distinctive architectural treatments and/or other distinguishing features.
- Entrances provided along each street façade or a single entrance prominently located on the corner.

Inappropriate:

- Facades without articulation or other architectural detail to provide visual interest and variety on the facade.
- Primary facades with an undefined entrance.



Appropriate: the entrance to the Downtown Clearwater Post Office is emphasized by a change in elevation and a colonnade with arches.



Appropriate: this building has a very distinct base, middle and an understated cap.

- Entrances not architecturally integrated into the design of the façade.
- Buildings on corners that do not treat each adjacent designated street (as designated on the Master Streetscape Plan) equally.
- An unfinished façade along a street.

Secondary Facades

A secondary façade faces alleys, parking areas and Old Bay district properties along Clearwater Harbor. The level of design along a secondary façade, while perhaps not as intense as a primary façade should continue the architectural style of the building and use the same quality of materials.

Appropriate:

- An overall design of the secondary façade(s) of the building consistent with that of the primary façade with regard to architectural style, materials, finish, color and detail.
- Architectural embellishments, awnings, landscaping and signs are used to identify the secondary entrance.
- Entrances facing parking lots, plazas and waterfronts.

Inappropriate:

- Buildings that do not provide an entrance along a secondary façade.
- A secondary facade which does not enhance or support the architectural style of the building.



Inappropriate: façade extends over 50 feet without detail or articulation.



Appropriate: clearly marked entrance along a pedestrian alley.



Appropriate: clearly marked rear entrance facing a vehicular alley and parking area.

Side Facades

Buildings that are not on corner or through lots typically have at least two side facades. A side façade faces adjacent buildings or properties. The side facades of a building may actually touch an adjacent building or they may be separated provided that adequate space for landscaping, parking areas, or vehicular/pedestrian access is created. While side facades may not receive the same intensity of design treatment as a primary or secondary facade they should maintain the same architectural style as the other facades.

Appropriate:

- An overall design of the side facades of the building consistent with that of the primary façade with regard to architectural style, materials, finish, color and detail.
- Architectural embellishments, awnings, landscaping and signs used to identify secondary entrances if provided.

Inappropriate:

- A side facade which does not enhance or support the architectural style of the building.

Windows and Doors

Windows are a vital element which link the private (space within a building) and public (space such as streets, sidewalks, etc.) realms visually drawing passersby into buildings.

Doors are also a vital element providing not only visual but, physical connections between the public and private realms.

Appropriate*:

- Windows that are appropriately sized for the scale and style of the building on



Appropriate: these buildings share common side facades



Appropriate: the side of this building faces a parking lot but retains the same finish and basic architectural details as the rest of the building.



Appropriate: doors and windows that add to the richness of their respective buildings.

which they are located.

- Windows along all streets.
- Windows within a building/development that creates a consistent and cohesive fenestration pattern.
- Windows that are similar in proportion to windows on adjacent buildings or with established and/or desired patterns along the adjoining block faces. The degree of similarity of the window pattern increases in importance the closer the buildings are to each other.
- Windows in commercial areas that are appropriately sized and located to allow for display and/or view into the interior of the building.
- Bulkheads below and transoms above display windows when appropriate for the architectural style of the building.
- Clear glass (88 percent light transmission or the maximum permitted by any applicable Building Codes) installed on ground floor windows except for stained or art glass provided the stained or art glass is in character with the style of the building and/or use (churches, craftsman buildings, etc.).
- Glass block used as an accent.
- Screen doors provided the design is compatible with the architecture and materials of the building.
- Doors which enhance and support the architectural style of the building.
- Doors appropriately sized for the scale of the building façade on which they are located.
- Doors with transoms and fan lights when appropriate for the architectural style of the building.

**Utility/Infrastructure and Public Facilities are exempted from the requirements of this windows and doors section and are fully addressed in the Signs and Miscellaneous section of these Guidelines.*



Appropriate: storefront/display windows utilizing clear glass.



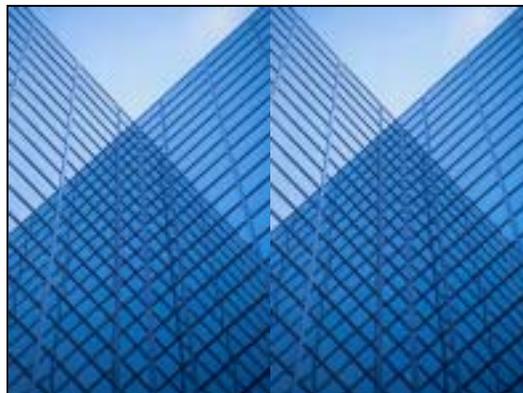
Appropriate: extensive use of windows along the street. Ground floor windows are similar in size and alignment and upper floor windows, while different than those along the ground floor are also aligned and similarly sized and spaced.



Appropriate: extensive ornamentation emphasizes this entrance.

Inappropriate:

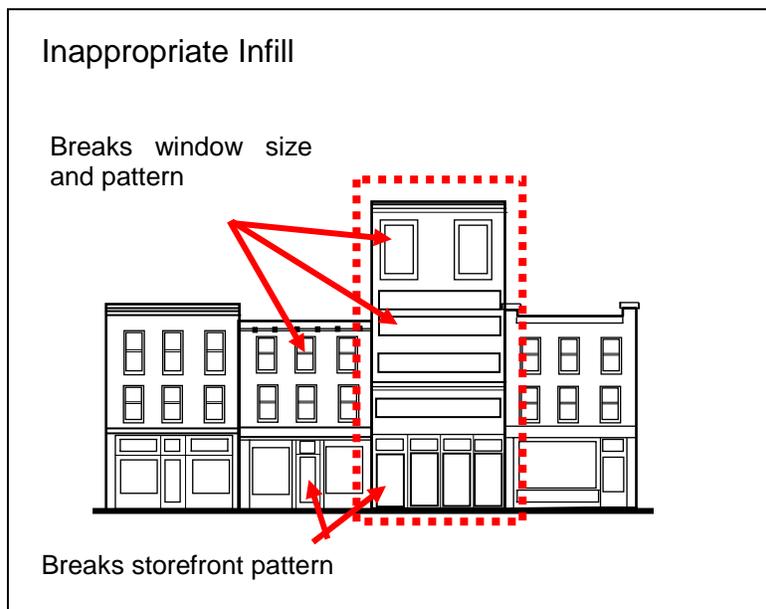
- The use of incompatible window types and shapes on the same structure.
- Mirrored glass and glass curtain walls.
- Storefront windows that extend to the ground without a traditional bulkhead.
- Tinted or reflective glass with less than 88 percent light transmission.
- Blackened out windows or any other use of material that achieves that effect.
- Boarded up windows (except during construction or during a reasonable repair period or subsequent to a weather advisory).
- Walls without windows along street frontages.
- Doors which are out of scale and/or character with the rest of the building.
- Doors which do not enhance the architectural style of the building.
- More than one style of door per building.



Inappropriate : mirrored glass.



Inappropriate: this building does not include windows along the street.



Roof Design

Roof forms are one of the most highly visible components of a building. Not only do they provide a vital function but they contribute to and are integral to the overall building design through the use of distinctive, defined styles and decorative patterns and colors.

Appropriate:

- A roof consistent with the style of the building utilizing architectural elements such as cornice treatments, roof overhangs with brackets, steeped parapets, richly textured materials and/or differently colored materials.
- Multiple rooftops on varying levels on large buildings that help break up the vertical mass of a building.
- High-rise buildings which utilize sculpted roofs in order to establish an interesting and enhanced skyline unique to Downtown Clearwater.
- The portions of building stepbacks that are fully finished and complement the architectural style of the building and the main roof structure.

Inappropriate:

- Colored stripes/bands on flat roofs.
- Mansard roofs that are out of scale with the building.
- Flat roofs within public view from grade not hidden by a parapet or other architectural feature.
- Roofs inconsistent with the architectural style of the building.



Appropriate: a standing seam metal roof adds rich detail to this building.



Appropriate: an ornate cornice line.



Appropriate: sculpted roofs add to the skyline of a city.



Inappropriate: mansard roofs.

Other Architectural Features

The same amount of thought and care should be put into the selection and installation of other architectural features as for more obvious features such as roofs, doors and windows. A variety of other features can provide the perfect accent or finish to a building, or conversely, ruin an otherwise wonderful structure. These may include door handles and hinges, mail slots, clocks, fire/emergency escapes, shutters, awnings etc.



Appropriate: architectural feature.

Appropriate:

- Shutters and canvas awnings sized to match the corresponding window openings.
- Shutters and awnings the shapes, materials, proportions, design, color, lettering and hardware of which are in character with the style of the building.
- Awnings made of high quality fire-rated/retardant fabric to protect pedestrians from inclement weather.
- First floor awnings placed no higher than the midpoint between the top of the first story window and the bottom of the second story windowsill.
- Hurricane shutters, if provided, fitted as an integral part of the storefront design, not visible when not in use and only to be used during the timeframe in which a formally issued hurricane warning is in effect.
- Electronic security systems utilized as an alternative to security bars.
- Fire stairs/egress designed as unobtrusive as possible by matching the primary structure with regard to materials, design and color of the structure. Where feasible, they should not be visible from the street.



Appropriate: shutters match size of window.



Appropriate: awning is correctly located on the façade of the building.

- Devices which discourage the congregation of animals (pigeons, squirrels, etc.) placed in the least visually obtrusive locations possible and/or designed to blend in with the overall architectural style of the building.
- The inclusion of other architectural details and elements (clocks, railings, flower boxes, etc.) as appropriate to the style and function of the building and architecturally integrated with the design of the building.
- Gutters, downspouts, utility boxes, meters, etc. located as visually unobtrusively as possible. Where feasible, they should not be visible from the street.

Inappropriate:

- Visible, permanent or roll-down security bars/gates.
- Solar collectors visible from the street.
- Awnings made of high-gloss or fabrics which appear to be plastic.
- Backlit awnings.

Materials and Color:

Materials

The correct choices of building materials are paramount in the success of any building. Buildings should be constructed of high quality, long lasting materials to contribute to Downtown's stability, character and pedestrian experience. Building materials on the lower levels of buildings are especially important due to their proximity to the pedestrian environment. Materials should also be appropriate to the architectural style of the building to which they belong. Important character defining details such as brick corbelling, bonding pattern, joint spacing and color should be incorporated into the design .



Appropriate: fire escape, located along an alley, is painted to match building.



Inappropriate: security gates.



Appropriate: materials and color are appropriate for a Mediterranean-style building.

Appropriate:

- Materials compatible with the existing and/or desired context of the surrounding area and that are common to the area’s historic construction methods/style.
- The use of high-quality materials which result in buildings that will be as maintenance free as possible and long-term components of the urban fabric.
- Building materials consistent with and relating to the architectural style of the building.
- Building materials appropriate to the scale of the building.
- The use of contemporary materials adapted to historic design elements.
- Storefront level and upper levels that use visually compatible materials.
- Use of the following durable materials within the first three floors of all buildings and recommended for all other floors:
 - Wood, stucco and/or or masonry exteriors.
 - Masonry exteriors finished in rusticated block.
 - Stucco, brick, stone, etc.
 - Storefront side piers, when provided, constructed of the same material as the upper façade or covered with stucco.
 - Pre-cast, cast-in-place or architectural concrete.
 - Tile; and
 - Any other material found acceptable by the Community Development Coordinator and/or the Community Development Board, as applicable.



Appropriate: materials and color appropriate for a bungalow-style house.



Inappropriate: cedar shakes and a mansard roof are both inappropriate in the Downtown Plan Area.



Appropriate: the two above pictures show the use of stucco and brighter colors for Mediterranean-style buildings.

Inappropriate:

- Exterior walls and skins of buildings designed and/or constructed of materials with a limited life expectancy.
- Materials incompatible with the architectural style of the building.
- The use of the following materials on building exteriors:
 - Poorly crafted or “rustic” woodworking and finishing techniques;
 - Cedar shakes;
 - Plywood (T1-11 siding, etc.);
 - Corrugated, mill finish or reflective metal wall panels;
 - Expanded metal (except for limited decorative applications);
 - Mill finish aluminum extrusions for windows and doorways;
 - Unfinished Concrete Masonry Units (CMU or cinder block); and
 - Any other material found unacceptable by the Community Development Coordinator and/or the Community Development Board, as applicable.
- The use of the following materials on the first three floors of building exteriors:
 - Foam except for architectural details and ornamentation;
 - Exterior insulated finish system (EIFS) except for architectural details and ornamentation;
 - Hardboard siding;
 - Plastic, metal and/or vinyl siding except for single-family dwellings;
 - Fiberglass panels;
 - Exposed aggregate (rough finish) concrete wall panels;
 - Indoor-outdoor carpeting or astro-turf; and



Appropriate: use of decorative tile.



Inappropriate: use of tile and asphalt shingles on the same roof.



Inappropriate: the townhome on the right has had its original brick facade covered by vinyl siding.

- Any other material found unacceptable by the Community Development Coordinator and/or the Community Development Board, as applicable.

Color

The color palette of a building is composed of the colors of the main body of the building, trim and accent colors. The colors chosen for awnings, canopies, shutters and roofs also contribute to the overall color scheme of a building. The overall color scheme of a building or project should reflect a cohesive pattern. These guidelines recognize that the review of a building's color scheme is a balance between an owner's creativity and individuality, the architectural style of the building and an overall harmonious vision for the Downtown.

The use of a single color on all surfaces should be avoided. A two- or three-color scheme is encouraged to provide visual appeal. The main body color should be the predominant color of the building. The color tone of the main body should be guided by the size and height of the building, its location (corner or interior lot), and architectural style. The trim color is applied to architectural elements such as windows, doors, columns, porches etc. The trim color should be a lighter or darker tone of the main body color, a complimentary color to the main body color or a neutral color. In a three-color scheme, the accent color should be used sparingly to highlight certain architectural elements such as a front door or awning.

Appropriate:

- The number and type of building colors appropriate for and consistent with the architectural style.



Appropriate: colors match and support the architectural style of each building.



Appropriate: utilities such as gutters, downspouts (fig. 1) and utility boxes (fig. 2) have been painted to match the primary building color.

- Low reflectance exterior colors.
- Gutters, downspouts, utility boxes, meters, etc. painted as part of the overall color scheme.

Inappropriate:

- Colors that are garish, gaudy, loud, excessive and ostentatious or that constitute a glaring and unattractive contrast to surrounding buildings.
- Main body color that is from the deepest tones of the color wheel.
- More than three different colors or color shades used on a single building unless appropriate to the architectural style of the building.
- The use of fluorescent or day glow colors.
- Black as the predominant exterior building color.
- Single color schemes. For example using one color on every surface.
- Clashing trim colors that are not complementary to the main body color and serve only to attract attention through their dissonance. As an example, yellow and red are clashing colors and not complementary and only serve to attract attention through their dissonance.
- A solid line or band of color or group of stripes used in lieu of architectural details.
- Color used to obscure important architectural features.



Inappropriate: loud and garish colors.

Additional Requirements for development within the Old Bay District east of Garden Avenue.

Appropriate:

- Offices that are residential in size, scale and design.



Appropriate: the above picture shows an office that is residential in size, scale and design.

Development along Cleveland Street between Myrtle and Osceola Avenues and along Fort Harrison Avenue between Drew and Chestnut Streets.

Appropriate:

- Development incorporating an architectural style indicative of those found in Downtown Clearwater between 1900 and 1950* and includes:
 - 20th Century Commercial Vernacular: One-story or One-Part;
 - 20th Century Commercial Vernacular: Two-Part;
 - Art Deco;
 - Art Moderne;
 - Chicago School;
 - Mediterranean or Mission Influence;
 - Mediterranean Revival;
 - Neo-Classical.



Capitol (Royalty) Theater (1921): Spanish Revival.



One-Part Commercial - Art Deco



Two-Part Commercial Block.



Enframed Window Wall.



Two-Part Commercial Block: Mediterranean Influence.

- Buildings which utilize character defining features from any one of the approved architectural styles listed above through the

* See Appendix 10 for additional examples

Inappropriate:

- Use of multiple and/or conflicting architectural styles within a single building or between several buildings within a single project.



Mid- to High-Rise buildings: Mediterranean Revival.



Pinellas County Court House: Neo-Classical.



Clearwater Downtown Post Office: Mediterranean Revival.



Chicago School.

Design Guidelines for the Rehabilitation of Historic Structures as Designated by the Clearwater City Council

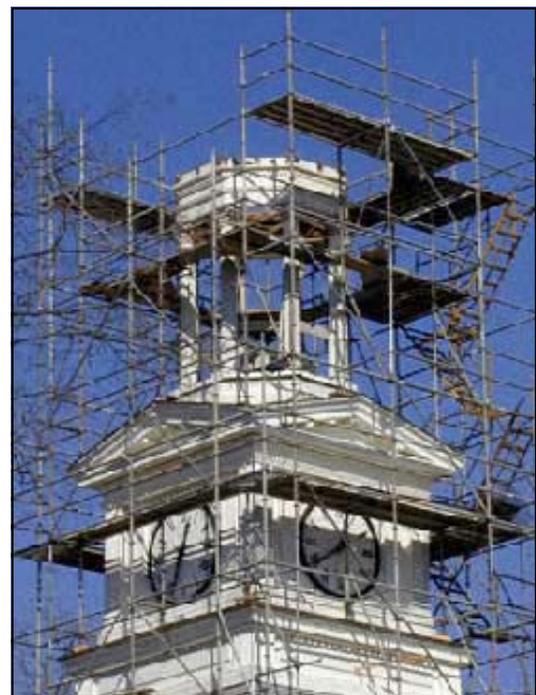
Secretary of the Interior Standards for Rehabilitation

Historic preservation, which is the rehabilitation, preservation and maintenance of older buildings, enriches the present in many ways. It protects a community's historic and cultural heritage by providing a vital connection to the past that teaches us how our ancestors lived. The conservation of existing resources also supports sustainable community growth and enhances community/neighborhood quality of life. In addition to these invaluable benefits, studies have also documented numerous positive economic impacts. Historic preservation creates jobs and results in more local business than new construction does. It also contributes to the local economy through increased property values and tax revenues and provides a basis for heritage tourism.

Recognizing the importance of preserving significant historic structures and the need for standards to ensure the appropriate rehabilitation of them, The Secretary of the Interior's Standards for Rehabilitation (Department of the Interior regulations, 36 CFR Part 67) were established in 1977. These standards provide basic principles to assist in the preservation of the distinctive characteristics of a historic building and its site, while allowing reasonable changes to meet new needs. The most frequent use of The Secretary of the Interior's Standards for Rehabilitation has been to determine if a rehabilitation project qualifies as a "Certified Rehabilitation." This determination, which is made by the State Historic Preservation Officer of Florida and the U.S. Department of the Interior, enables property owners of



Restoration of a historic building.



Restoration of a historic clock tower.

incoming producing property to receive a 20 percent federal rehabilitation tax credit.

The Secretary of the Interior's Standards for Rehabilitation, reproduced below, are to be applied to rehabilitation projects in a reasonable manner. It should be noted that these provisions apply to the treatment of the interior and exterior of a building for the evaluation and approval of federal tax credits. The City of Clearwater will review projects for compliance with exterior standards only.

- 1.A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- 2.The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 3.Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- 4.Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- 5.Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- 6.Deteriorated historic features shall be repaired rather than replaced. Where the



Before Rehabilitation



After Rehabilitation

This two-story brick commercial building (above) was originally constructed ca. 1876, then remodeled in 1916 in the Craftsman style and given a new, distinctive roofline. It served a number of uses, including a hotel, boarding house, saloon, restaurant, liquor store, warehouse, and office furniture showroom. The red brick walls had been painted several times over the years. Rehabilitation work included removal of multiple paint layers using a chemical stripper and thorough water rinse; spot repointing with matching mortar; and appropriate interior alterations. The building is now being used as a retail shop.

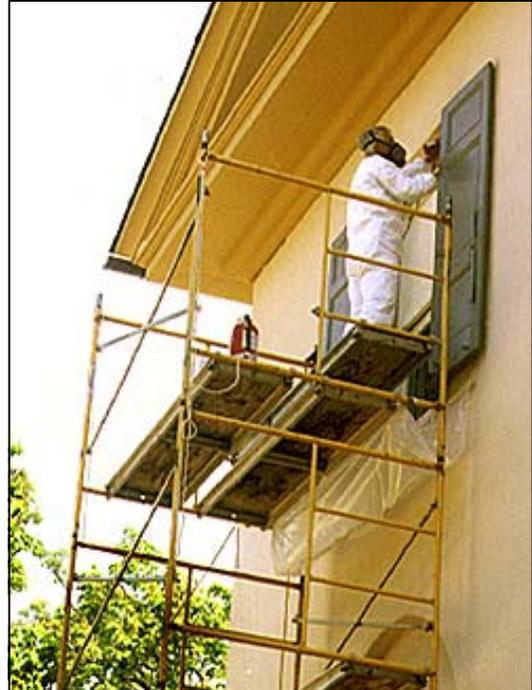
severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



Appropriate: repair of existing window structure.



Appropriate: gentle, chemical hand-cleaning of granite.

Rehabilitation and Maintenance of Designated Structures

The rehabilitation of a historic structure is defined by The Secretary of the Interior’s Standards for Rehabilitation as “the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.” The following guidelines are based on The Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (established by the Secretary of Interior) and shall be applied when reviewing any rehabilitation project associated with a designated historic structure or a contributing structure within a designated historic district or any property seeking federal tax incentives.

Preservation, Maintenance, Repair, and Replacement of Historic Features

Designated historic structures shall be recognized as products of their own time. Changes that may have taken place in the course of time are evidence of the history and development of the site and may have acquired significance in their own rights and shall be recognized and respected. The retention and preservation of the architectural details and features that are important in defining the historic character of a designated structure is essential in any rehabilitation and maintenance effort. The protection and maintenance of such features is the most desirable way in which to retain the defining historic character of the structure. In the event this is not feasible, the repair of these character-defining materials and features is acceptable. Replacement of these features with new material(s) is the least desirable option and shall only occur when severe



Appropriate: this building was successfully rehabilitated and is now occupied by Starbucks and several offices.



Appropriate: recreated historic architectural details.



Appropriate: The Coachman Building has been well-maintained over the years.

deterioration or damage precludes their repair. Regular, consistent maintenance is the obligation of all property owners. Allowing designated properties to fall into a state of disrepair through the lack of maintenance is prohibited.

Appropriate:

- Rehabilitation work performed in compliance with The Secretary of the Interior's Standards for Rehabilitation.
- The use of a property for its historic purpose or a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- The retention/preservation of the historic character of the property through the maintenance of historic materials, features, finishes and spaces.
- Original details uncovered and repaired.
- Maintaining the original appearance, details and features of front porches and porte cocheres.
- Opening and restoring previously enclosed front porches to their original form and style.
- The repair rather than the replacement of deteriorated historic features.
- Stabilizing and/or repairing of a deteriorated structural element in a manner that imparts the least impact on the historic features of a building.
- The replacement of missing and/or deteriorated character-defining features that match the original with regard to design, color, texture, materials and other visual qualities as substantiated by documentary, physical or pictorial evidence.
- The use of gentle cleaning methods.



Appropriate: structural stabilization prior to commencement of rehabilitation work in compliance with The Secretary of the Interior's Standards for Rehabilitation.



Appropriate: Cast iron column revealed during removal of non-significant storefront.

- The use of methods that minimize damage to original materials when original elements are disassembled for restoration and the identification of such elements in a manner that supports reassembly in the proper order.

Inappropriate:

- Any change contrary to The Secretary of the Interior's Standards for Rehabilitation.
- The removal or alteration of character-defining features that imparts significance to the property.
- Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings.
- Removal of any ornamentation or architectural detail.
- Covering or obscuring original features with new construction where the original historical character of the building is significantly altered.
- The application of new material that covers original material such as using contemporary metal siding or vinyl to replace or cover original masonry.
- The use of harsh chemicals/procedures for cleaning such as sandblasting and the use of flame on wood that damage historic materials.



Inappropriate: application of new material that covers the original, appropriate materials.



Inappropriate: The first floor of this building has been changed destroying the original historical character.



Inappropriate: High-pressure water spray has permanently etched this granite.



Inappropriate: use of harsh cleaning techniques that cause damage.

Roofs

Roof form and materials are important design elements of historic buildings. The roof is an integral element that defines the historic architectural style of a building. Certain architectural styles have specific roof forms and/or materials. For example, hipped and gabled roofs are commonly found in vernacular styles and Bungalows; flat parapet roofs with barrel tile are characteristic of Mediterranean Revivals; and flat roofs are characteristic of the Neo-Classical styles. The protection and maintenance of the functional and decorative features are important in retaining the overall historic character of a building. As with all historic building elements, retaining and preserving these features are the most desirable. When this is not possible, repairs may be done and when such systems have deteriorated beyond repair, replacement may be the only viable option. All repairs and replacement should retain the historic characteristics of the roof.

Appropriate:

- The maintenance of the original roofline.
- Preservation and repair of the original roofing material.
- New or replacement materials that replicate or are otherwise compatible with existing materials with regard to style, material, scale and color.
- Roof replacement with new roof material and style only if characteristic of the architectural style.

Inappropriate:

- The alteration of the original roofline.
- The replacement of roofing materials that is not characteristic of the building style.
- The addition of roof forms such as soffits, canopies and dormers that are not consistent with the original roof.



Appropriate: tile roof on a Mediterranean Revival building.



A special system consisting of brass or copper wires is used to attach these tapered barrel roof tiles.



Inappropriate: asphalt shingles are an incompatible replacement substitute for the original Spanish clay tiles.

- Painting or staining of roof materials unless substantiated by documentary, physical or pictorial evidence.



Appropriate: decorated, exposed soffit.

Windows and Doors

The design and functionality of windows, and to a lesser extent doors, have changed over time due to advances in technology and changes in architectural style. Windows are unique architectural elements because they are found on both the interior and exterior of a wall. Windows and doors are also the only building features that provide a link between the private space (area within a building) and the public space (area along streets, sidewalks, etc.) Due to the fact that window and door patterns have such an impact on the appearance and function of a structure, their protection and maintenance contribute to the overall historic character of buildings. Protecting and maintaining original doors and windows is the most desirable approach in a rehabilitation project. If this is not possible due to the extent of deterioration, repairs and/or replacements of in-kind materials should be employed.

Appropriate:

- Historic windows and doors preserved in place when feasible.
- Repair of deteriorated windows and doors.
- Replacement of deteriorated doors and windows when no other options are feasible



Appropriate: retention of original entrance.



Appropriate: retention of original fanlight above the door.

provided that the replacements match the original units with regard to orientation, design, scale, materials and color as documented by physical, documentary and/or pictorial evidence.

- Replacement of non-historic windows and doors with new windows and doors consistent with the architectural style of the building and that match the original units with regard to orientation, design, scale, materials and color as documented by physical, documentary and/or pictorial evidence.
- Retention of doors and door details, frames, lintels, fanlights, sidelights, pediments and transoms, in good condition or repairable that are in character with the style and period of the building.
- Installation of screen doors provided the design is compatible with the architecture and materials of the building.
- New windows and/or doors as required by life safety codes. The new opening(s) should be located on side or secondary facades, consistent with the architectural style of the building and minimizes the appearance of the alteration of the structure.
- Restoration/reopening of original doors/windows as documented by physical, documentary and/or pictorial evidence.
- The use of clear glass or, under certain circumstances lightly tinted glass (Note: tinted glass may preclude the designation of a certified rehabilitation).

Inappropriate:

- New openings in existing walls that cannot be documented by physical, documentary and/or pictorial evidence unless otherwise required by life safety codes.
- Use of tinted, reflective or mirrored glass and/or blackened out windows.



Fig. 1



Fig. 2

Fig 1. - Deteriorated lower window sash prior to replacement.

Fig. 2 - Appropriate: deteriorated lower window sash repaired based on historical documentation.



Inappropriate: the two lower windows do not match the original windows.

Materials and Colors

The identification of materials that are important in defining the historic character of a structure is paramount. Once they have been identified, the goal is to protect and maintain them. When warranted such materials should be repaired. If repair is not feasible, replacement with a compatible substitute material may be permitted. Exterior paint colors should always be appropriate to the architectural style of the building. Traditionally muted earth-toned colors, which are found in stone, brick, wood and terracotta, composed the basic color palette of downtown areas. Certain architectural styles do not follow this color palette such as Craftsman, which used neutral colors (white, beige, terracotta); Queen Anne Revival and Bungalow styles, which typically used deep rich tones or opaque stain with lighter trim; and Mediterranean Revival buildings, which were painted in coral pinks and beiges.

Appropriate:

- The removal of wall materials, such as aluminum, vinyl or asbestos that covers original wall materials.
- Wood siding repaired or replaced with the same material, orientation, board width and length as that which exists.
- Masonry finish repaired or replaced with the same material with regard to color, material and texture.
- Brick exteriors carefully cleaned and repointed.
- Brick or stone left unpainted unless the brick or stone is already painted and its use documented through paint analysis and historic documentation.
- Color schemes based on the architectural style of the building or as documented by paint analysis and historic documentation.



Inappropriate: use of replacement windows that do not match original windows.



Appropriate: limited replacement-in-kind of deteriorated wood clapboards.



Appropriate: replacement stone tooled to match original.

Inappropriate:

- Historic wood siding covered or stripped to expose the original coated or raw surface.
- Use of a clear finish or stain as the finished surface, unless historically accurate.
- The application of a non-historic covering over masonry or wood such as aluminum, vinyl, stucco, etc.
- Colors that are garish, gaudy, loud, excessive and ostentatious or that constitute a glaring and unattractive contrast to surrounding buildings.
- Colors not consistent with the historic architectural building style.
- Color used to obscure important architectural features.



Appropriate: the original unpainted brick has been retained.



Appropriate: replacement of a rotted wood column base with new wood.



Inappropriate: Loss of historic character due to insensitive repointing.

Treatment of Storefront Components

Storefronts, located at or near the property line, have a great impact on the streetscape of commercial areas. Even though historic buildings may have different architectural styles, their mass, scale and window and door patterns establish the rhythm of the street. Defining historic features of storefronts typically include display windows, doors, bulkheads, kick plates, etc. These features should be retained through protection and maintenance. If conditions warrant, repair would be considered the next option in a rehabilitation project and replacement, as always, is the last alternative.

Appropriate:

- Maintaining the original size and shape of an existing storefront opening.
- Preserving large panes of glass that are a part of the original storefront opening.
- Reestablishing the original dimensions of storefront windows so replacement glass fits within original piers or columns.
- Maintaining or restoring the storefront wall at the original façade location.
- Maintaining or restoring a recessed entry in its original location.
- Maintaining kick plates and bulkheads found below display windows.
- The preservation of transoms located above display windows.
- Use of awnings and/or canopies that complement the original design of the building with regard to color and architectural style.

Inappropriate:

- Canopies and awnings that obscure ornamental details, windows and/or doors.
- Canopies and awnings made of metal, plastic, shake or asphalt shingles.



Fig. 1



Fig. 2

Fig 1. - building's original storefront is completely closed up.

Fig. 2 - Appropriate: building and storefront fully restored



Appropriate: preservation of the original recessed entrance.

- Superficial, architectural motifs which do not support the historical character of the storefront.
- The installation of lighting under an awning (“back-lit” lighting) that has the effect of an internally lit sign.



Inappropriate: the storefront on the far right has been inappropriately covered up and breaks the continuity of the block.

Other Architectural Features

A variety of other architectural attributes can be considered character defining features such as awnings, clocks, door handles, hinges, mail slots, etc. The size, style, ornateness or simplicity of these types of features should complement the architectural style of the building.

Appropriate:

- Use of awnings and/or canopies that complement the original design of the building with regard to color and architectural style.
- Address numerals, as required by Code, unobtrusive in location and in scale with other design elements on the façade of the building utilizing a mounting method that will not damage any historic masonry or siding.
- The addition of window shutters provided there is a historical precedence.
- The maintenance of original hardware.
- The use of hardware in a similar style and scale to the building if replacement hardware is necessary.
- The maintenance, repair, or replacement of clocks, whichever is appropriate.



Appropriate: retention of an unusual door detail.



Appropriate: Code-compliant address numbers located in a visible, unobtrusive location.

- Gutters and downspouts that are compatible with the design of the building.

Inappropriate:

- Canopies and awnings that obscure ornamental details, windows and/or doors.
- Canopies and awnings made of metal, plastic, shake or asphalt shingles.
- Covering or obscuring architectural features.



Appropriate: clock is of an appropriate style and scale for the building.



Appropriate: gutter and downspout compatible with building design.



Inappropriate: awnings which appear plastic and are out of scale with the structure.

Additions, Accessory Structures and Modern Equipment:

Additions and alterations may be needed in some instances to assure a building's continued use. In particular, work that enhances energy efficiency, accessibility and health and safety is necessary to keep a designated historic structure viable. New additions should be avoided, if possible, and considered only after it is determined that those needs cannot be met by altering secondary or non character-defining interior spaces. If no other viable alternative exists, however, an addition may be permitted provided the addition is designed and constructed in a manner that is compatible with but differentiates itself from the historic structure. Additions or alterations shall not radically change, obscure or destroy the character-defining spaces, materials, features, finishes, etc.

Appropriate:

- An addition or accessory structure that is compatible with and subordinate to the scale and mass of the principal building that it serves.
- The use of materials that complement the historic materials of the principal building.
- The use of contemporary materials adapted to historic design elements.
- New additions constructed in a manner that if removed in the future enables the building to be restored to its original condition.
- The location of a new addition offset behind the primary and corner façades that preserves the original proportions and character of the original façade.
- Additions that are compatible with the existing portion of the structure with regard to roof type, size, slope, color, and materials and texture.
- Windows and doors that relate to the scale



Appropriate: Small compatible stair tower on rear elevation



Appropriate: non-obtrusive skylights located to the rear of the building.



Appropriate: new addition on rear of building is subordinate to the principle structure.

and proportion of the original openings in the existing building.

- The alteration of non-character defining interior spaces to avoid the construction of a new addition.
- Providing required parking on site in a manner that minimizes the effect on the historic setting of the site.
- The location of central air conditioning components as far away from the street as possible and/or out of public view.
- The placement of window air conditioning units in windows located on the secondary and side facades.
- Skylights located on a side of the roof with the least visibility from the street.
- Solar collectors located on portions of the building not visible from any public right-of-way.
- The location of fire stairs on side and secondary facades designed to be compatible with the architecture of the building.
- Utility boxes, meters, etc. located as visually unobtrusively as possible. Where feasible, they should not be visible from the street.
- Concealed Wireless Communication Facilities (antennas, satellite dishes, etc.) not visible from any public right-of-way.
- Hurricane shutters, if provided, fitted as an integral part of the design, not visible when not in use and only to be used during the timeframe in which a formally issued hurricane warning is in effect.
- Electronic security systems utilized as an alternative to security bars.
- Devices which discourage the congregation of animals (pigeons, squirrels, etc.) if not visible from a public right-of-way.



Appropriate: unobtrusive glass connector between two historic buildings.



Inappropriate: meter installation on primary facade.

Inappropriate:

- Additions that dominate the original historic structure.
- Additions designed and constructed to replicate the original, historic structure and cannot be distinguished from the original structure.
- Any modern equipment located in a manner visible from the public right-of-way or on the primary and corner façades.
- Visible, permanent or roll-down security bars/gates.
- Awnings made of high-gloss fabrics which appear to be plastic.



Inappropriate: air conditioner installation on primary facade.



Inappropriate: high-gloss fabric awning.

Signs and Miscellaneous

Signs

Signage is a vital component of any commercial establishment and many multi-family developments providing identification of a particular use. There are two basic types of signs: attached and freestanding. Attached signs are physically attached to a building whereas freestanding signs are self-supporting. There are a variety of types of attached signs such as wall, projecting, hanging, awning and window. Due to the pedestrian nature of Downtown, attached signs are the most appropriate type for the area. Changeable copy is primarily oriented towards vehicular traffic, therefore, its use in an urban pedestrian environment should be limited. Monument-style freestanding signs may be appropriate within certain areas of the Downtown where building placement warrants their use.

The appropriate scale and placement of signs on a façade should contribute greatly to the appearance of a building and the character of an area. Every sign should be designed as an integral architectural element of the building and site and should compliment that building with regard to materials, color, texture, finish, scale and design and architectural context. Existing, historic signage should be repaired when possible and replaced only when repairs are not feasible. Should the replacement of historic signage be necessary a replica is encouraged provided it is compatible with the architecture of the building. Signage should not obscure architectural details.

Appropriate:

- Signs on a building and/or site designed as part of an overall theme that respect, enhance and contribute to the architectural style, detailing and elements of a building.



Appropriate: front-lit attached sign.



Appropriate: sign incorporated into a fence.



Appropriate: attached sign is proportional to the space in which it is located and uses letters which match the trim of the building.

- Signs whose design, colors, materials, size, shape and methods of illumination reinforce the overall design of the façade.
- Letter size, letter and word spacing, font style and other design elements of a sign that create an overall high quality aesthetic appearance.
- Attached signs proportional to the space to which they are attached.
- Attached signs installed so the method of installation is concealed or made an integral part of the design of the sign.
- Where individual buildings are located with limited side yard setbacks, attached signs that demonstrate a general alignment with the signs on adjacent storefronts/buildings;
- Wall signs located on flat, unadorned parts of a façade such as the horizontal band between the storefront and second floor or on windows, awning valances, fascia, etc.
- Wall signs located immediately adjacent to secondary entrances.
- Projecting signs located adjacent to the building entrances or tenant space(s) which they serve.
- Hanging signs positioned perpendicular to the façade of the building and located adjacent to the building entrances or tenant space(s) which they serve.
- Awning signs which are permanently affixed (sewn to or screened on) to the valance of the awning as part of the overall awning design.
- Window signs consisting of paint or decals, etchings/engravings, neon and/or three-dimensional lighted signs.
- Buildings with multiple tenants accessed from the interior of the building which include a directory sign immediately adjacent to that entrance.
- Existing, historic signs that are preserved or restored.



Fig. 1



Fig. 2

Appropriate: sign (Fig. 2) complements building (Fig. 1) with regard to color and material and includes limited changeable copy.



Appropriate: attached signs are in alignment.



Appropriate: monument sign located in landscape bed. Materials and color match building.

- Historically accurate reproduced signage documented by physical, documentary and/or pictorial evidence.
- Changeable copy which matches the sign to which it is attached with regard to style, size and color.

Inappropriate:

- Box/cabinet style signs.
- Signs utilizing LED or any other electronic changeable copy.
- Signs painted directly on the façade of a building unless documented by physical/historical, documentary and/or pictorial evidence.
- Attached signs that cover windows or other architectural features.
- Projecting signs higher than the top of second story windows.
- More than one hanging or projecting sign per business.
- Awning signs which are affixed to the awning material by adhesive backed-letters or other non-permanent methods.
- Window signs which are affixed by tape or other non-permanent methods.
- Monument signs on sites where the primary building is located 20 feet or closer to a front property line.
- Changeable copy area greater than 25 percent of the sign area (with the exception of theater marquees).
- Sandwich board signs.



Appropriate: projecting sign.



Appropriate: window etchings.



Inappropriate: signage is too large and not appropriate for the style of the building.



Appropriate: hanging signs similar in size shape and scale.



Inappropriate: poorly aligned signs, covering architectural details, etc.

Lighting

Lighting and light fixtures should be part of an overall design plan and their design and placement appropriate to the building to which they will serve. When unlit, lighting fixtures can impact a building or space through the physical form of the fixture. At night, lighting can create atmosphere through the level of intensity and color of the light emitted.

Appropriate:

- Light fixtures that are designed to respect, enhance and contribute to the architectural style, detailing and elements of a building.
- Light fixtures that reinforce the overall composition of the façade with regard to color, material, size, scale and shape.
- Light poles located adjacent to a public right-of-way that incorporates the same or similar design of light poles as in the character district or complements the design of the building.
- Attached light fixtures flush mounted on a wall or soffit.
- Light fixtures that are recessed in ceilings or otherwise concealed.
- Lighting located in bollards.
- Existing, historic light fixtures preserved in place whenever feasible.
- Historically accurate reproduced lighting fixtures documented by physical, documentary and/or pictorial evidence.
- Lighting which illuminates without glare.
- Utility meters, service locations, wires, piping, boxes, conduits, etc. placed in the most visually unobtrusive location possible.
- Electrical wiring to all site lighting provided underground.
- Accent lighting illuminating signage, landscaping and trees, water amenities and other special features.



Appropriate: attached light fixtures.



Appropriate: hanging light fixtures.



Appropriate: recessed light fixture.

- An adequate number of light fixtures installed to effectively and safely illuminate pedestrian areas.

Inappropriate:

- Exposed spot and floodlight fixtures used on non-residential properties.
- Light fixtures placed in a position where existing or future tree canopy will reduce the illumination levels or otherwise interfere with the light fixture.
- Lighting which illuminates adjacent properties.
- Light fixtures that do not relate to the structure/site with regard to materials, color, size, scale and style.
- Lighting which is too bright, glaring and overpowering for a space or that is too dim to effectively illuminate.
- Neon used to light a building or as a decorative element except where appropriate to the architectural style of the building.
- Lighting which results in color distortions within pedestrian and vehicular areas.



Appropriate: freestanding light fixtures.



Inappropriate: floodlight.



Appropriate: spotlights within goose-neck fixtures.



Inappropriate: exposed spotlight fixtures.

Property Maintenance

Maintaining properties whether occupied or unoccupied, is vital to the success of Downtown Clearwater. Properties that fall into disrepair quickly become eyesores and damage the integrity of the downtown and reduce the value of surrounding properties. In addition, required repairs are often more expensive than regular maintenance. Allowing properties to fall into disrepair costs everyone money. Regular, consistent property maintenance is the obligation of all property owners.

Appropriate:

- Regular visual inspections of all portions of a building such as the foundation, walls, weather-stripping, roofs, etc.
- Regular maintenance and repair using quality materials.
- Enlisting the services of professionals.
- Using the gentlest possible procedures for cleaning.
- Consulting a structural engineer prior to commencing any work when structural systems are affected.
- Stabilizing/repairing deteriorated or inadequate foundations as soon as physically possible.
- Replacing weather-stripping as needed prior to failure.
- Replacing loose or missing roof tiles/shingles as soon as damage is observed.
- Regular exterior painting and touch-ups as needed.
- Inspection and replacing of awnings that show signs of wear, tear, fading, etc.
- Regular cleaning and sweeping of adjacent public property.
- Keeping windows clean.



Appropriate: even a regular sweeping can vastly improve a property encouraging surrounding property owners to maintain their sites.



Appropriate: missing roof tiles are replaced as soon as the damage was noticed.



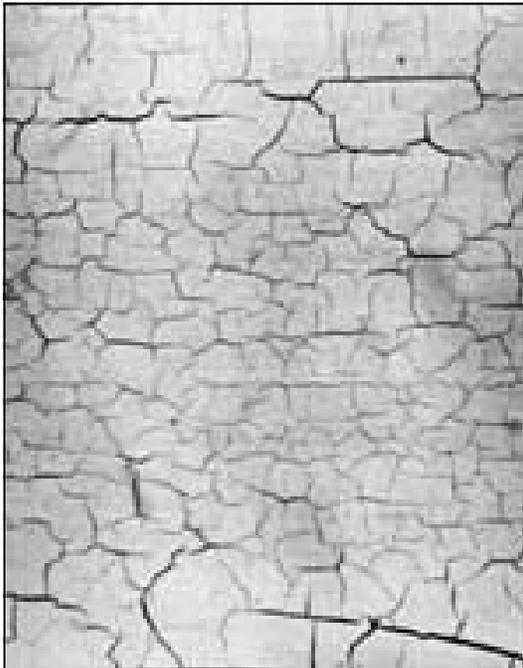
The importance of enlisting the aid of competent, qualified professional help in performing proper maintenance cannot be understated.

Inappropriate:

- Allowing routine maintenance and repairs to lapse.
- The use of harsh chemicals/procedures for cleaning.
- Failing to test a cleaning/restoration product/technique on a discreet location first.
- Harsh methods of cleaning that would damage or otherwise compromise the building.
- Poorly attached elements that may fall and injure people
- Applying paint to fabric awnings.



Inappropriate: graffiti and boarded up doors.



Inappropriate: cracking paint.



Inappropriate: abandoned property.



Inappropriate: lack of maintenance.

Pinellas Trail

The Pinellas Trail presents the opportunity to bring people into Downtown and as such is a unique source of economic development. Uses along the Pinellas Trail should be oriented toward the Trail to take advantage of the people drawn to this recreational/transportation amenity. Connections to the Pinellas Trail should be incorporated in site plans when property is adjacent to the Trail or when the proposed use would benefit through a connection.

Appropriate:

- Providing safe, convenient pedestrian connections between the site and the Pinellas Trail.
- Providing amenities such as seating and/or bike racks.

Inappropriate:

- Properties located adjacent to the Pinellas Trail that do not acknowledge it through the use of connecting pedestrian paths, doors, windows, art, etc.



Inappropriate: property does not provide access to the Pinellas Trail.



Appropriate: covered seating area and bike racks adjacent to the Pinellas Trail.



Appropriate: pedestrian path provided between the property and the Pinellas Trail.



Appropriate: building oriented towards the Pinellas Trail.

Utility/Infrastructure Facilities

Utility/Infrastructure facilities are necessary elements of any City. They include uses such as electric, telephone, cable, water, wastewater substations or transfer stations and other similar intermediate distribution facilities.

Due to hurricane proofing and security needs, the design of these buildings typically results in buildings without windows and with few doors. In recognition of this limitation, utility/infrastructure facilities are exempt from the strict application of the Windows and Doors section of the New Construction provisions of these guidelines. This section provides design alternatives in-lieu of traditional windows and doors. Utility/Infrastructure facilities shall meet all other portions of these Design Guidelines.

Appropriate:

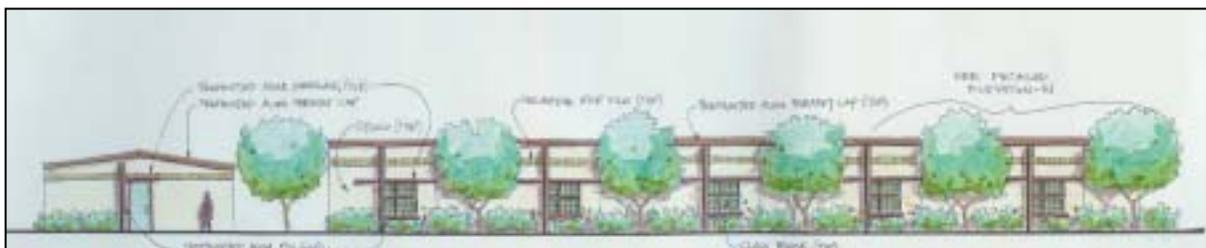
- Utility/Infrastructure facilities which visually relate to surrounding buildings and the desired character of the area with regard to mass, scale, height, width and depth consistent with the New Construction chapter of these guidelines.
- Utility/Infrastructure facilities that incorporate an architectural style or architectural elements consistent with the existing and/or desired style of development in the surrounding neighborhood consistent with the New Construction provisions of these



Appropriate: this utility/infrastructure facility includes a Mediterranean-style with tile work, stucco finish and tile roof.



Appropriate: lift station which blends into the natural surroundings.



Appropriate: a utility/infrastructure facility with an Art Deco architectural style including a stucco finish and glass block and tile faux windows, tile banding and a decorative cap. The structure also includes a canopied entrance with the canopy structure repeated along the street facing facades.

guidelines.

- Utility/infrastructure facilities that maintain the existing and/or desired window pattern and proportions through the use of windows or window-like architectural details (faux windows, recesses, glass block, tile, shutters, trompe l'oeil or other architectural techniques) and/or other architectural elements.
- The use of awnings, canopies and sunscreens.
- Doors that enhance and support the architectural style of the building and are appropriately sized for the scale of the building façade.



Appropriate: this utility/infrastructure facility (a power plant) utilizes the same architectural detailing as the primary building which it serves (see bottom of this page).



Appropriate: detailing of this power plant includes faux windows, a balustrade, tile roof and exposed joists.



This building is served by the power plant (above) and served as the inspiration for the design of the plant.

Inappropriate:

- Utility/infrastructure facilities which do not relate to the surrounding or desired and envisioned context and fabric of the neighborhood with regard to size, scale, height, width and depth.
- Facades on utility/infrastructure facilities that do not incorporate meaningful architectural details such as cornice lines, banding, string courses, columns, recesses, relief, etc.
- Walls without windows or window-like architectural details along street frontages or parking areas.
- The use of conflicting window types or window-like architectural details on the same structure.
- Reflective glass and/or glass curtain walls.
- Blackened out/painted windows.
- Boarded up windows (except during construction or during a reasonable repair period or subsequent to a weather advisory).
- Doors which are out of scale and/or character with the rest of the building.
- Doors which do not enhance the architectural style of the building.
- More than one style of door per building.



Inappropriate: lack of windows and the inclusion of a garage-style door.



Inappropriate: lack of windows, doors and architectural details.



Inappropriate: this lift station lacks architectural detail, doors and windows.

Corporate Design

Corporate franchises typically prefer to build new structures rather than convert existing building to their needs. However, franchises more and more are moving into existing structures within a downtown. Any building occupied by a corporate franchise, whether new or existing, designated as historic or not will need to meet the requirements of these Guidelines.

While many national corporate chains typically design their buildings to act as signage, they can and do modify the design of their buildings to blend with the character of the surrounding neighborhood and/or comply with design standards when required.

Appropriate:

- Buildings which meet all the requirements of the New Construction, Rehabilitation of Designated Historic Structures and the Signs and Miscellaneous provisions, as applicable.
- Corporate design which visually relates to surrounding buildings and the desired character of the area with regard to mass, scale, height, width and depth consistent with the New Construction provisions of these guidelines.
- Corporate design that incorporates an architectural style or architectural elements consistent with the existing and/or desired style of development in the surrounding neighborhood consistent with the New Construction provisions of these guidelines.



Appropriate: This Ann Taylor store is located in a historic building. Minimal exterior modifications have been made and signage is limited to subtle letters on awnings (Fig. 1) and attached directly to the building (Fig. 2).



Appropriate: This Burger King franchise is located in a historic building. Minimal exterior modifications have been made and signage is limited to subtle letters attached directly to the building (Fig. 3).

Inappropriate:

- Buildings which house corporate franchises or businesses which do not relate to the existing and/or desired character of the surrounding neighborhood with regard to mass, scale, height, width and depth and/or are otherwise inconsistent with the New Construction provisions of these guidelines.



Appropriate: this McDonald's relates to the surrounding environment by utilizing a Key West-style of architecture.



Inappropriate: this McDonald's would not relate to surrounding building within the Downtown Plan Area.